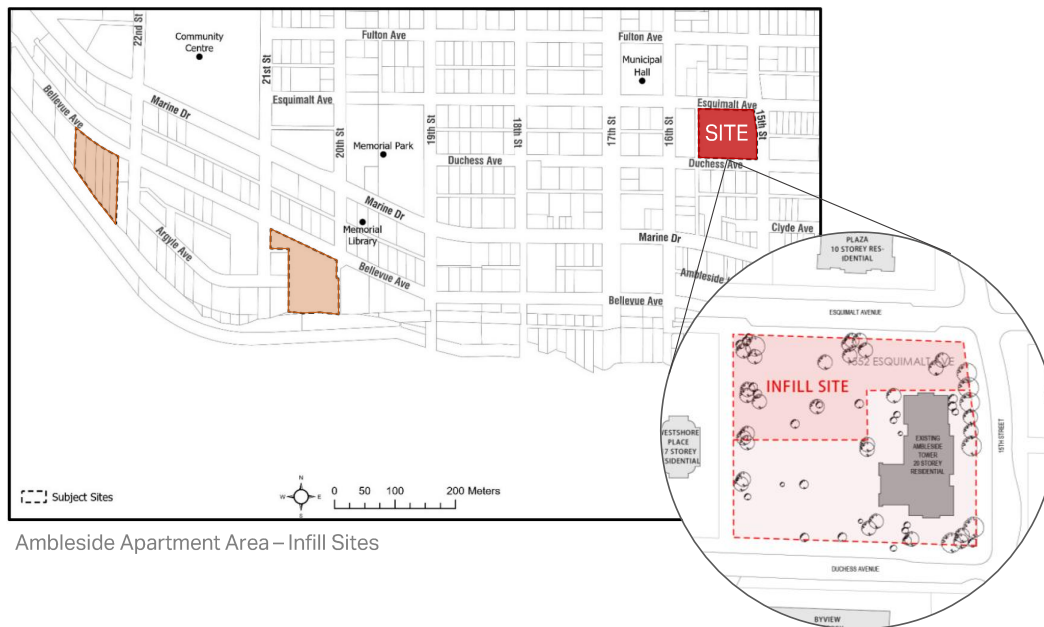


WALL AMBLESIDE INFILL TOWER

1552 Esquimalt Ave, West Vancouver, BC



A SITE- SPECIFIC INFILL SITE



Ambleside Apartment Area – Infill Sites



@ 1552 Esquimalt Avenue

This site is one of three **designated infill locations** identified in the District's OCP for the Ambleside Apartment Area. Its development represents the implementation of the established planning direction — **delivering new housing while preserving existing rental housing.**



Public Transit Access



Civic Facilities/ Schools



Commercial Corridor

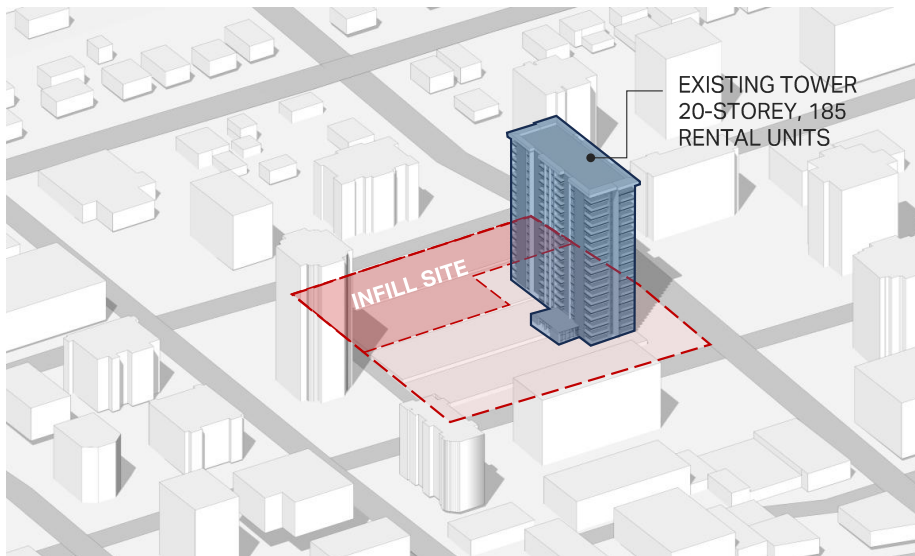
A CONNECTED & WALKABLE COMMUNITY HUB

- Located in the heart of Ambleside's civic and commercial core, 1552 Esquimalt provides a seamless link to transit, services, and community amenities.
- With a diverse array of shops, schools, and municipal facilities within **a two-minute walk**, the project reinforces a highly walkable urban fabric that integrates residents directly into the social and economic life of West Vancouver.

PRESERVATION OF EXISTING RENTAL TOWER

The existing **20-storey residential tower**, constructed in the 1970s, will be preserved along with all **185 rental units**.

By ensuring zero displacement and respecting the building's distinct slab-block form, the project maintains neighborhood continuity while providing a balanced foundation for sensitive infill development.



NEIGHBOURING RESIDENTIAL BUILDINGS



East Street Scape – Along 15th St



South Street Scape – Along Duchess Ave



North Street Scape – Along Esquimalt Ave

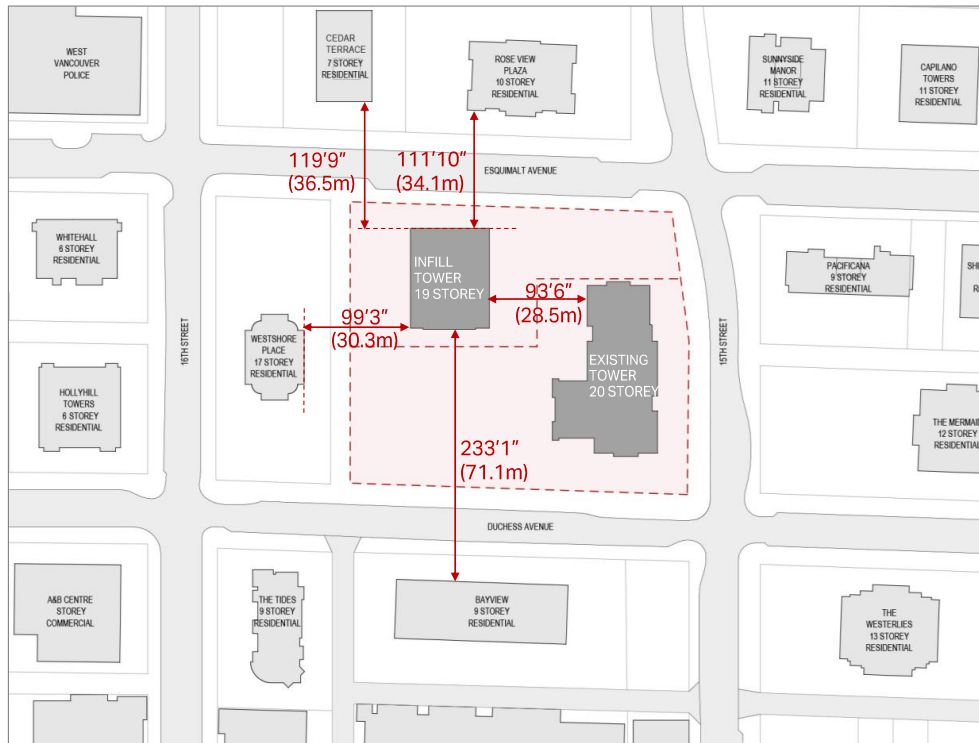


■ Residential Building

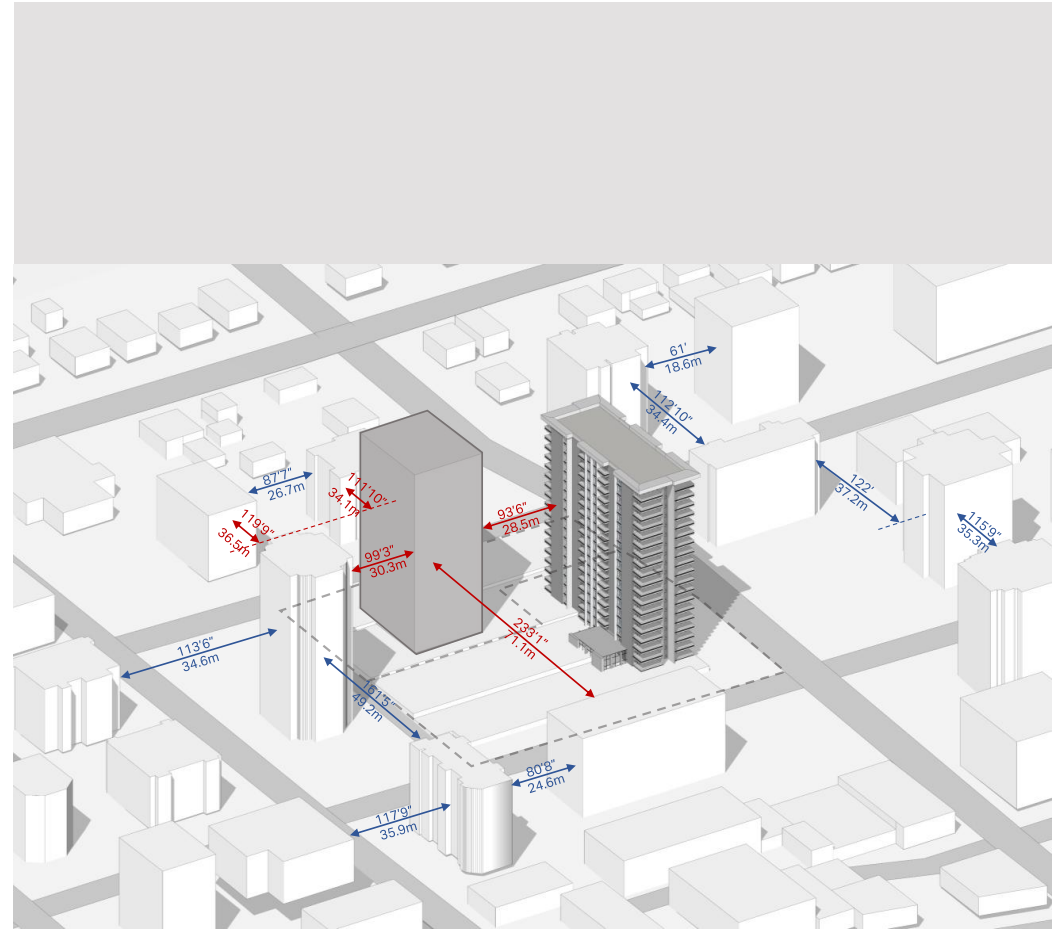
This infill site is surrounded by several **mid- to high-rise residential** buildings that define the immediate urban context. This surrounding built form establishes a varied yet coherent residential character, informing the scale and massing approach of the proposed development.



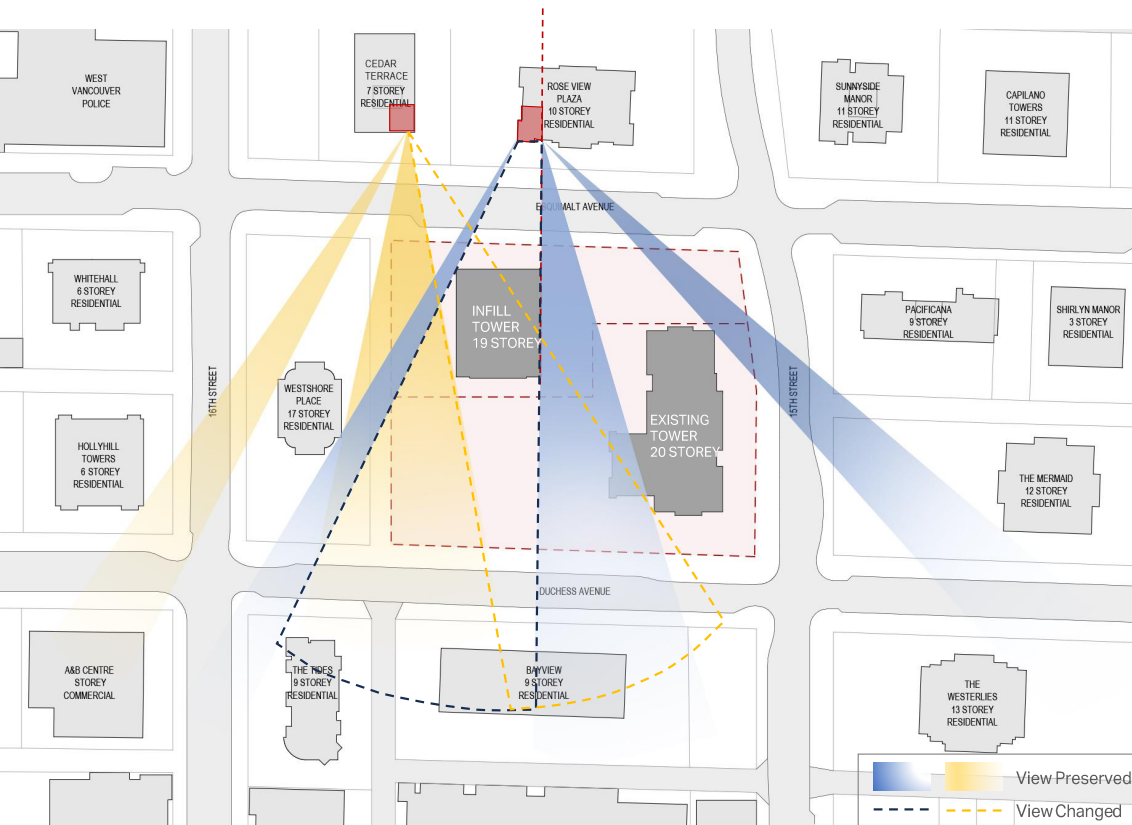
DESIGN RESPONSE - MAXIMIZED SETBACKS



The infill tower is carefully positioned to maximize setbacks from surrounding buildings. Compared to neighbouring conditions, the proposed slender form provides **increased separation distances**. The tower's slim vertical profile is designed to **minimize view changes** of neighboring properties and maintain site openness.



VIEW CHANGE



For neighbouring buildings to the north, corner units will experience some changes to their primary views; however, compared to baseline conditions, partial ocean views are maintained for all units within the Rose View Plaza and Cedar Terrace residential buildings.

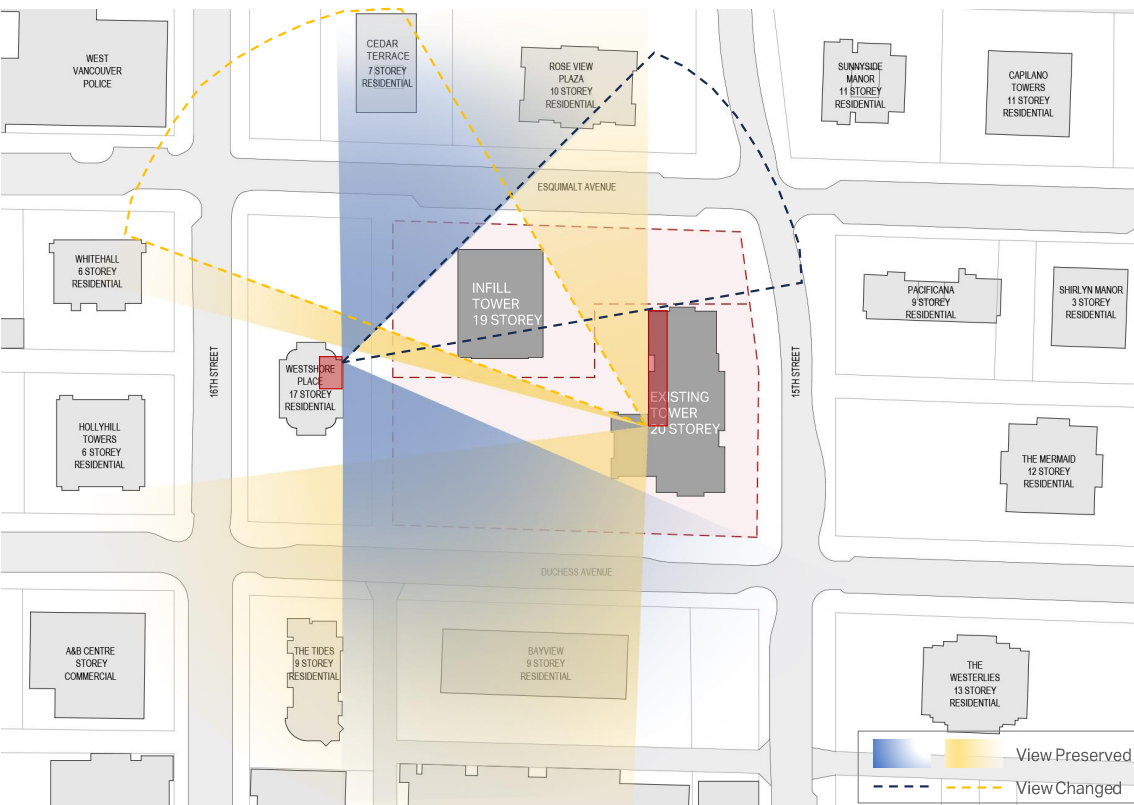


View from Rose View Plaza Residential Building



View from Cedar Terrace Residential Building

VIEW CHANGE



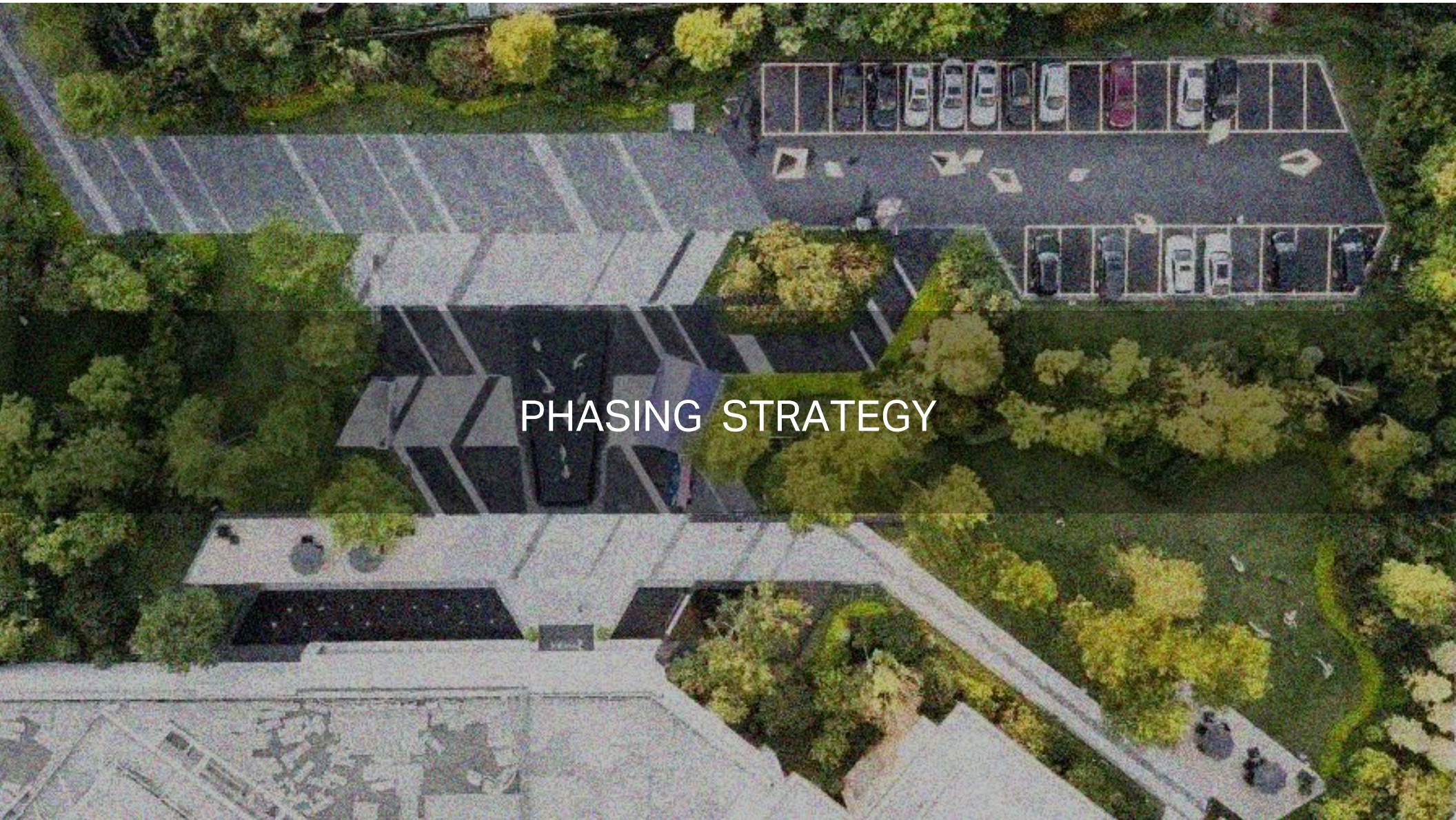
For Westshore Place and the existing tower, the design preserves primary views; compared to the affected baseline condition, residents will continue to have both ocean and mountain views.



View from the Existing Rental Tower



View from Westshore Place Residential Tower



PHASING STRATEGY

PHASING STRATEGY

EXISTING PARKING

A total of **183** parking stalls, including **176** underground parking + **7** surface parking.

PHASE 1

Construction of new parkade for the existing rental building

166 parking stalls provided as interim parking for the existing rental building.

PHASE 2

Construction of new parkade for the new strata building

155 new parking stalls provided for the existing rental building.

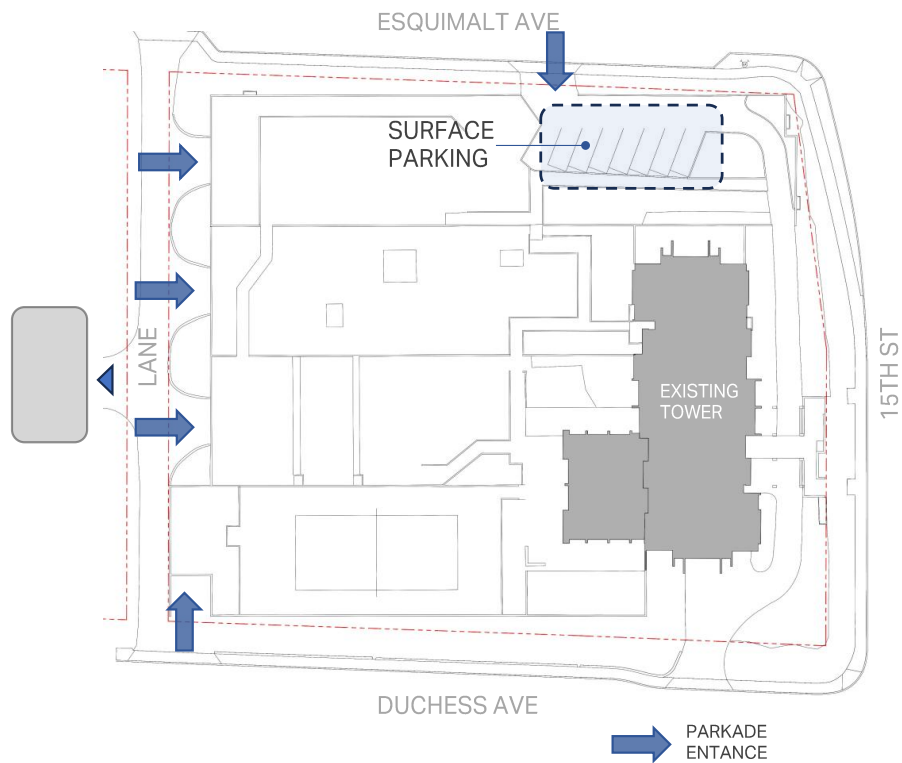
NEW COMPLETED PARKADE STRUCTURE

A total of **155** permanent parking stalls are provided for the existing building, and a total of **174** permanent parking stalls are provided for the new building upon completion. Plus **2** delivery, **2** car share, **3** visitor surface parking stalls for both lots.

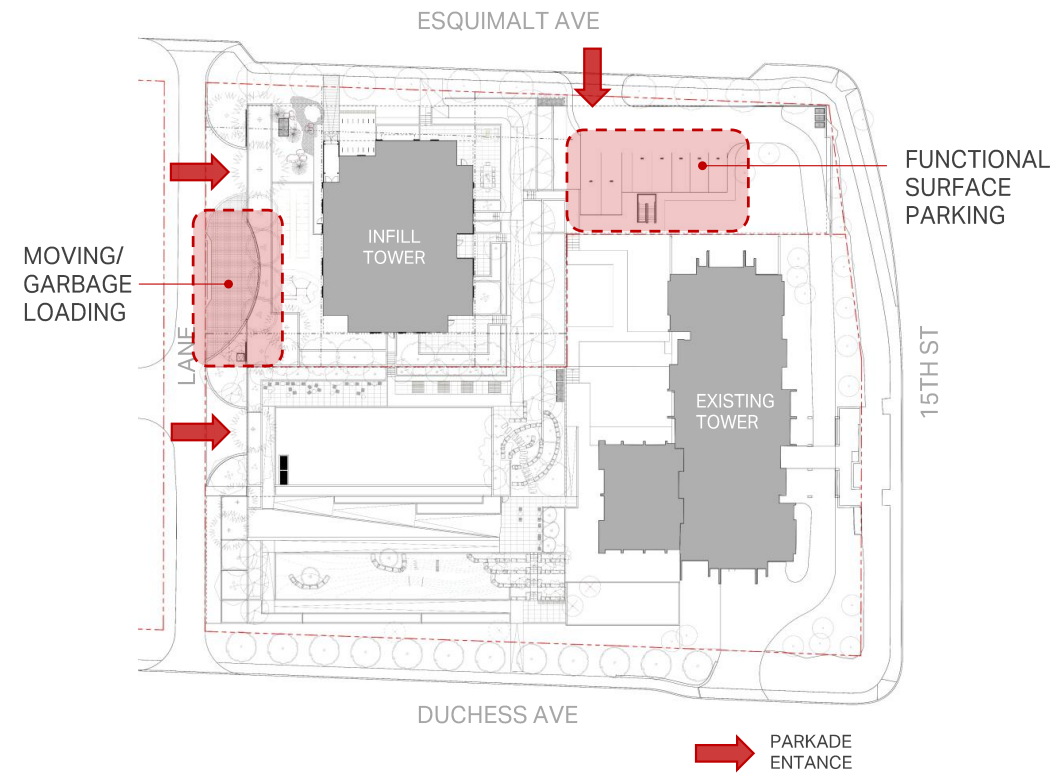
- The phasing plan ensures there is **NO GAP** in the on-site parking provided between demolition and project completion.



TRAFFIC REORGANIZATION



- BEFORE**
- Four separate entrances to existing parkade
 - Seven regular surface parking stalls
 - No dedicated service, delivery, or shared spaces



- AFTER**
- Two consolidated entrances to new underground parkade
 - Dedicated at-grade zone for moving and waste collection
 - 2 delivery+ 2 car share+ 3 visitor parking spaces at grade



COMMUNITY BENEFITS

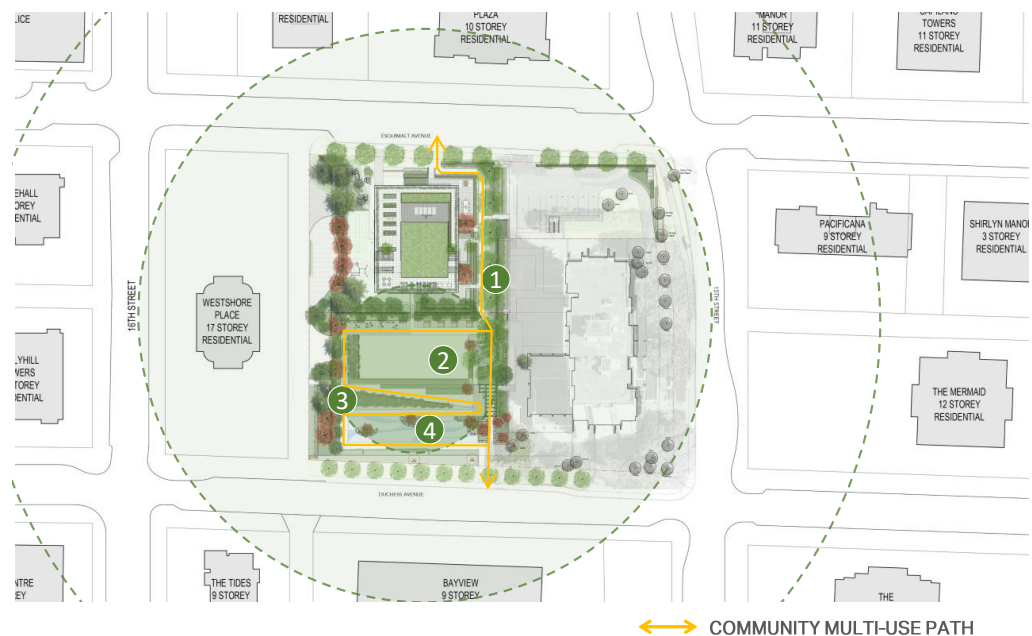


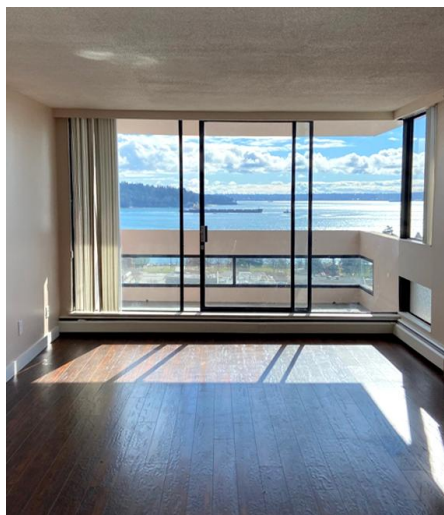
① MULTI-USE PATH ② GREAT LAWN ③ BAMBOO GROVE ④ PLAY ZONE

COMMUNITY BENEFITS

Maximizing Community Amenity Contributions

The project prioritizes the ground plane as a livable, people-oriented **public realm** by reducing vehicle presence and reallocating space to shared amenities and landscape. These spaces are designed to be visible, accessible, and actively used by residents of all ages — supporting informal gathering, everyday recreation, and a stronger **sense of community**.

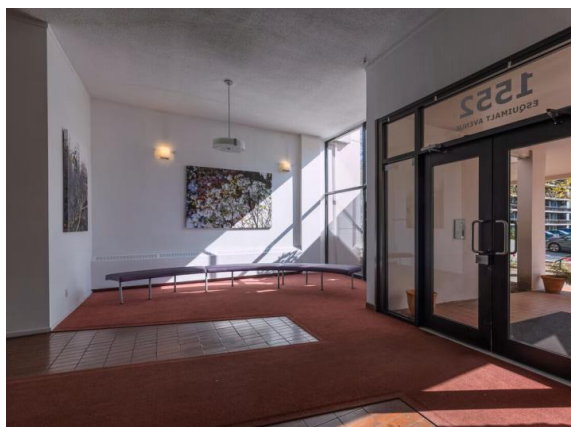




COMMUNITY BENEFITS

Permanently Secured 185 Rental Units

The project secures the existing 185-unit building as **permanent rental** housing, ensuring that a significant portion of the site remains dedicated to long-term rental use. This approach protects Ambleside's rental stock and fosters a diverse, resilient neighborhood through a thoughtful mix of old and new housing.



POLICY ALIGNMENT

Housing Supply & Diversity



Typical Floor Plan (L10-L18)

- Studio Unit
- One-bedroom Unit
- Two-bedroom Unit
- Three-bedroom Unit

TOTAL RESIDENTIAL UNIT MIX			
UNIT TYPE	UNIT COUNT	UNIT SIZE	% PROVIDED
		SQ. FT.	
STUDIO UNIT	23	412	18.3%
1- BEDROOM UNIT	58	515 – 586.5	46.0%
2- BEDROOM UNIT	26	854 – 982.5	20.6%
3- BEDROOM UNIT	19	970 - 1050	15.1%
TOTAL	126	-	100%

The project increases **housing options** in the Ambleside Apartment Area while delivering a broad range of unit types that accommodate diverse household needs — from individuals to families. This mix also supports **aging residents** wishing to remain in the community, promoting long-term housing continuity and inclusivity.

FORWARD-LOOKING RESPONSIBILITY

Through context-sensitive massing, architectural excellence, and a commitment to long-term housing security, this development ensures a resilient and livable future for Ambleside community.



LUSH LANDSCAPING INTERFACE ON DUCHESS AVE



WALL AMBLESIDE INFILL TOWER

Wall
FINANCIAL CORPORATION

J&G
ARCHITECTURE

bearmark
design & landscape ltd.