



District of West Vancouver

**Official Community Plan Bylaw No. 4985, 2018,  
Amendment Bylaw No. 5394, 2026**  
(6085 & 6093 Marine Drive)

Effective Date:

# Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5394, 2026

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District of West Vancouver

## **Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5394, 2026**

A bylaw to amend the Official Community Plan to place a development site within a development permit area to regulate the form and character of the development.

Previous amendments: Amendment bylaws 5008, 5045, 5054, 5057, 5064, 5074, 5076, 5120, 5135, 5128, 5172, 5231, 5222, 5280, 5301, 5335, 5291, 5292, 5362, 5205, and 5355.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an amendment to the Official Community Plan to allow for the redevelopment of lands at 6085 and 6093 Marine Drive;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

### **Part 1 Citation**

- 1.1 This bylaw may be cited as Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5394, 2026.

### **Part 2 Severability**

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

### **Part 3 Amends Schedule ii Area-Specific Policies & Guidelines**

- 3.1 Schedule ii Area-Specific Policies & Guidelines to Official Community Plan Bylaw No. 4985, 2018 is amended as follows:

- 3.1.1 Amending the “Ground-Oriented Infill Housing Development Permit Area Designation BF-B16” by adding a map to the section as illustrated in **Schedule A** attached to this bylaw.

## **Schedule**

**Schedule A** – Development Permit Area Designation BF-B16 Ground-Oriented Infill Housing

READ A FIRST TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on  
January 26, 2026

PUBLICATION OF NOTICE OF PUBLIC HEARING on February 11 and 18, 2026

PUBLIC HEARING HELD on February 23, 2026

READ A SECOND TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on  
March 9, 2026

READ A THIRD TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on  
March 9, 2026

ADOPTED by the Council (MAJORITY VOTE IN THE AFFIRMATIVE) on [Date].

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Mayor

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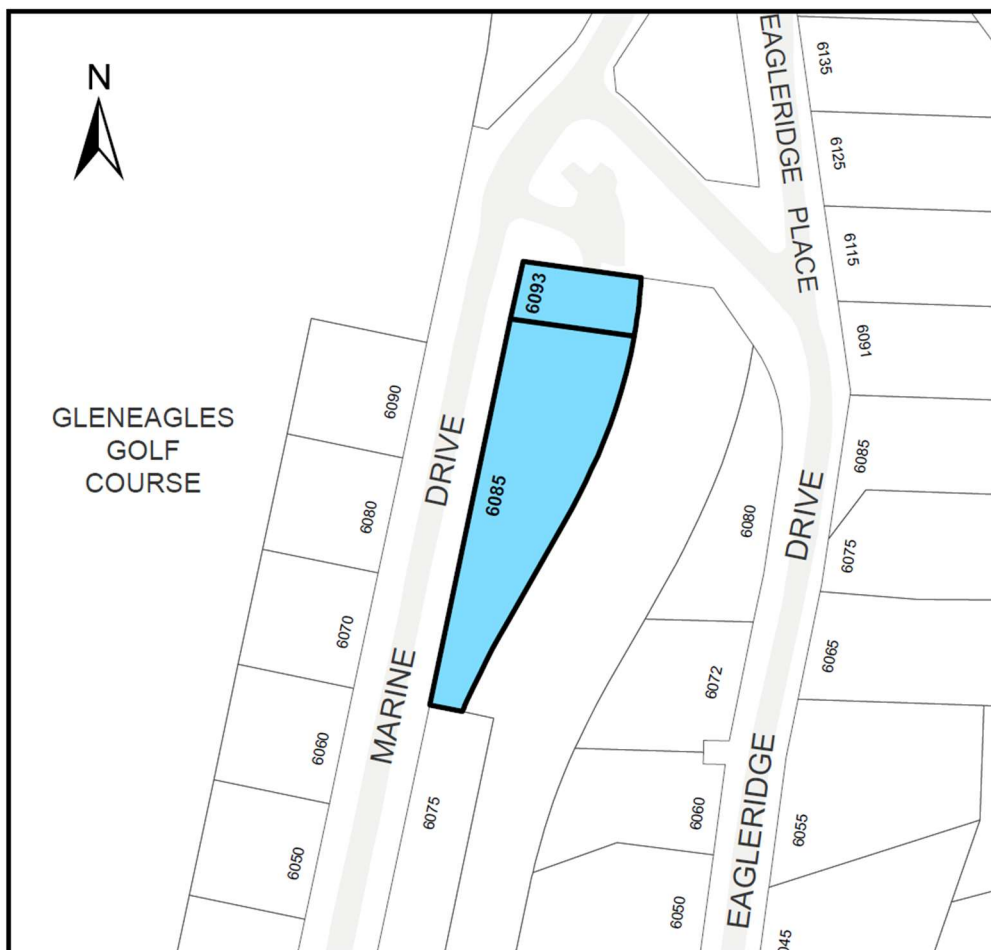
Corporate Officer

## Schedule A – Development Permit Area Designation BF-B16 Ground-Oriented Infill Housing

Amendment to Official Community Plan Bylaw No. 4985, 2018, Schedule A, Schedule ii, Area-Specific Policies & Guidelines.

Policy BF-B16.1 is amended by deleting the section in its entirety and replacing it with the following: “The lots shown on maps BF-B16 may be considered for rezoning to enable ground-oriented infill housing types that may include single family dwellings, duplexes, townhouses, rowhouses and/or combinations thereof to address the missing middle.”

The area shown shaded on the map below is added as a designated area to Development Permit Area BF-B16 as the Ground-Oriented Infill Housing Development Permit Area Designation Maps BF-B16 and the existing map within the Maps BF-B16 is labelled “Lots C and D Daffodil Drive”:



6085 and 6093 Marine Drive

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District of West Vancouver

**Zoning Bylaw No. 4662, 2010,  
Amendment Bylaw No. 5395, 2026**  
(6085 & 6093 Marine Drive)

Effective Date:

# Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5395, 2026

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District of West Vancouver

## **Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5395, 2026**

A bylaw to rezone property at 6085 and 6093 Marine Drive for a housing development to address the missing middle.

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, 4767, 4787, 4788, 4784, 4772, 4791, 4805, 4809, 4828, 4854, 4873, 4866, 4895, 4839, 4898, 4927, 4944, 4905, 4974, 4967, 4982, 4962, 4928, 4992, 5001, 5021, 5024, 5009, 4938, 5044, 5055, 5051, 5068, 5065, 5087, 5069, 5110, 5106, 5132, 5161, 5155, 5160, 5013, 5122, 5155, 5169, 5192, 5175, 5171, 5201, 5230, 5081, 5223, 5270, 5281, 5321, 5328, 5338, 5336, 5351, 5293, 5347, 5339, 5206, 5361, 5356, 5353, 5279, 5380, 5379, 5254 and 5387.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an amendment to the Zoning Bylaw;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

### **Part 1 Citation**

- 1.1 This bylaw may be cited as Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5395, 2026.

### **Part 2 Severability**

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

### **Part 3 Adds the CD89 Zone & Rezones the Site**

- 3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 600 (Comprehensive Development or site specific zones) is hereby amended by adding Section

689 as the CD89 – Comprehensive Development Zone 89 (6085 & 6093 Marine Drive), as set out in **Schedule A** attached to this bylaw.

- 3.2 The Lands shown shaded on the map attached as Schedule B to this bylaw are rezoned from RS4 – Single Family Dwelling Zone 4 to Comprehensive Development Zone 89 (6085 & 6093 Marine Drive), as set out in **Schedule A** attached to this bylaw.

## **Part 4 Amends the Table of Contents**

- 4.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 100 Table of Contents is amended accordingly.

## **Part 5 Amends the Zoning Maps**

- 5.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2 Zoning Maps is hereby amended by changing the zoning on the Lands as shown shaded on the map in **Schedule B** attached to this bylaw.

FROM: RS4 – Single Family Dwelling Zone 4

TO: CD89 – Comprehensive Development Zone 89 (6085 & 6093 Marine Drive)

## **Schedules**

Schedule A – CD89 - Comprehensive Development Zone 89 (6085 & 6093 Marine Drive)

Schedule B – Amendment to Zoning Maps

READ A FIRST TIME on January 26, 2026

PUBLICATION OF NOTICE OF PUBLIC HEARING on February 11 and 18, 2026

PUBLIC HEARING HELD on February 23, 2026

READ A SECOND TIME on March 9, 2026

READ A THIRD TIME on March 9, 2026

APPROVED by the Ministry of Transportation and Transit on March 11, 2026

ADOPTED by the Council on [Date].

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Mayor

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Corporate Officer

## Schedule A – CD89 – Comprehensive Development Zone 89 (6085 & 6093 Marine Drive)

### 689 CD89 (6085 & 6093 Marine Drive)

AMENDING  
BYLAW

#### SECTION REGULATION

##### 689.01 Permitted Uses

- (1) accessory buildings, structures and uses
- (2) child care
- (3) community care
- (4) home based businesses
- (5) townhouses

##### 689.02 Floor Area Ratio

- (1) Maximum: 0.70 FAR

##### 689.03 Conditions of Use

- (1) Maximum number of units: 12

##### 689.04 Setbacks

Minimum:

- (1) Minimum for all buildings except accessory buildings and structures:
  - (i) Front (Marine Drive): 6 m
  - (ii) Rear (Trail): 3 m
  - (iii) Side (North/Parking Lot): 1.5 m
  - (iv) Side (South): 35 m
- (2) Accessory buildings and structures: 0 m

**689.05 Building Height**

- (1) Maximum: 11.5 metres

**689.06 Number of Storeys**

- (1) Maximum: 3

**689.07 Site Coverage**

- (1) Maximum: 35%

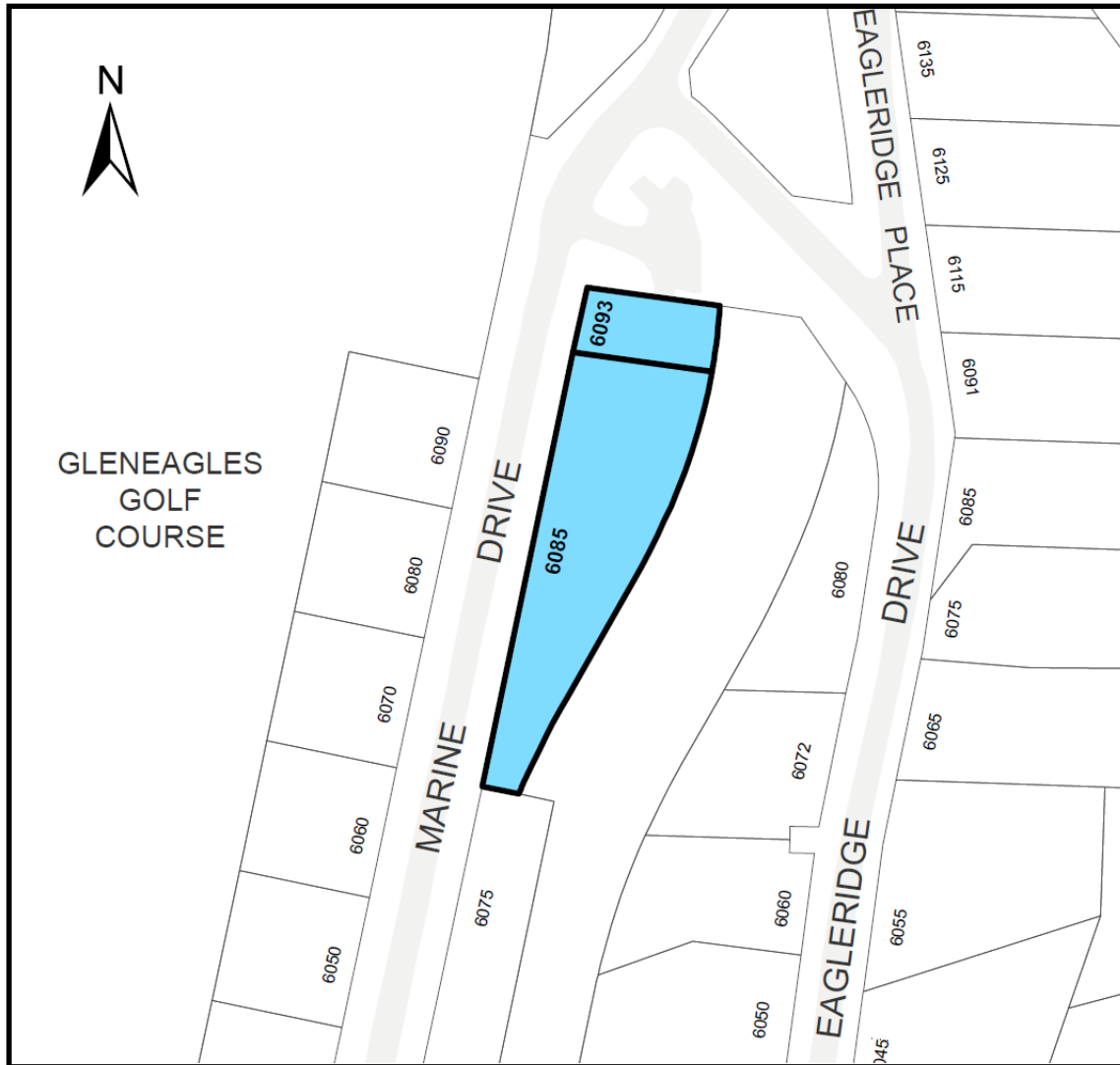
**689.08 Off-Street Parking**

- (1) Minimum of 28 parking spaces

## Schedule B – Amendment to Zoning Maps

Amendment to Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2, Zoning Maps.

Sketch plan showing the area to be rezoned to CD89:



6085 and 6093 Marine Drive



# District of West Vancouver

## *Proposed*

### Development Permit No. 25-012

**CURRENT OWNER:** TL WHYTECLIFF PROPERTY INC (C/O TELUS COMMUNICATIONS INC.)

**THIS DEVELOPMENT PERMIT APPLIES TO:**

**CIVIC ADDRESS:** 6085 MARINE DRIVE

**LEGAL DESCRIPTION:** 011-007-656  
LOT 16, EXCEPT PART IN REFERENCE PLAN 2648, BLOCK 4 DISTRICT LOT 771 PLAN 6028 (the 'LANDS')

**CIVIC ADDRESS:** 6093 MARINE DRIVE

**LEGAL DESCRIPTION:** 011-007-591  
LOT A (REFERENCE PLAN 2648) OF LOT 16 BLOCK 4 DISTRICT LOT 771 PLAN 6028 (the 'LANDS')

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**1.0 This Development Permit:**

- (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan as the Ground-Oriented Development Permit Area to promote the siting and design of ground-oriented infill housing that integrates with the neighbourhood context and meets a high quality of building and landscape design to create an attractive, residential streetscape subject to Guidelines BF-B16 specified in the Official Community Plan; and
- (b) is issued subject to the Owner's compliance with all of the Bylaws of the District applicable to the Lands, except as varied or supplemented by this Permit.

**2.0 The following requirements and conditions shall apply to the Lands:**

- 2.1 Building, structures, on-site parking, driveways and site development shall take place in substantial accordance with the attached **Schedule A**.
- 2.2 The townhouses shall be sited and site access shall be provided in general accordance with **Schedule A**.
- 2.3 Landscaping shall be installed at the cost of the Owner in accordance with the attached **Schedule B**.
- 2.4 Sustainability measures and commitments shall take place in accordance with the attached **Schedule A**.

- 2.5 All balconies decks and patios are to remain fully open and unenclosed and the weather wall must remain intact.
- 2.6 Where provided for on **Schedule A**, balconies, decks and patios may be provided with external glass weather protection devices, but in any case the weather wall must remain intact.

**3.0 Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner must:**

- 3.1 Provide and implement a plan for traffic management during construction to the satisfaction of the District's Manager of Development Engineering.
- 3.2 Install tree, vegetation and/or hedge protection measures as required to the satisfaction of the District's Environmental Protection Officer.
- 3.3 Submit a "Sediment and Erosion Plan" to the District's Environmental Protection Officer for approval, which the Owner shall comply with and be responsible for maintaining, repairing and implementing the sediment control measures.

**4.0 Prior to Building Permit issuance:**

- 4.1 Provide engineering civil drawings detailing works, and enter into a Works and Servicing Agreement, including but not limited to:
  - (a) storm water management measures;
  - (b) site service connections;
  - (c) new boulevard plan along the frontage of the site including curbs, sidewalk and grading plan;
  - (d) repaving along the frontage of the Lands;
  - (e) signalization of the pedestrian crossing at Marine Drive and Eagleridge Drive;

which must be submitted for acceptance, and security provided for the due and property completion of the engineering works, all to the satisfaction of the District's Manager of Land Development, generally in accordance with **Schedule C**.

**5.0 Prior to Occupancy Permit issuance:**

- 5.1 Prior to final occupancy the applicant must submit documentation demonstrating that the "as-built" development complies with all requirements of this development permit. Any variations must be clearly identified with a rationale and explanation noting that planning staff review and approval may be needed for variations prior to final occupancy.

**6.0 Security for Landscaping**

- 6.1 Prior to building permit issuance, security for the due and proper completion of the landscaping set forth in section 2.0 of this Development Permit (the "Landscaping Works") shall be provided in the amount of \$103,500 (the "Landscape Deposit") to the District in the form of cash or unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union.

## 6.2 Release of the Landscape Deposit:

(a) Following installation of the Landscaping Works and upon receipt of a certified letter or report by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects to the District stating that:

- a. the Landscaping Works have been installed substantially in accordance with **Schedule B**; and
- b. any variations that may have been undertaken to the Landscaping Works are clearly identified, including but not limited to:
  - i. any adjustments to retaining walls,
  - ii. changes to the mixture or sizes of any plant materials or trees,
  - iii. completion of any off-site or boulevard works,
  - iv. any areas that received alternative treatment,
  - v. any paving changes, or
  - vi. any other additional or omitted plantings or alterations,

together with a clear rationale and explanation thereof and stating

- c. that a final review with the landscape contractor or consultant of record has been completed, including provision of the date when this final review was completed on,
- d. whether there are any outstanding Landscape Works which are outstanding or which need attention, and
- e. notwithstanding outstanding works in 5.2(a)(d) above, that the Landscaping Works are complete,

then District will release 75% of the initial value of the Landscape Deposit. The remaining 25% of the initial value of the Landscape Deposit shall be retained by the District as a warranty deposit (the "Warranty Deposit") to ensure successful installation of the Landscaping Works.

(b) After a one-year period following certification that the Landscaping Works have been completed, and upon final certification by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects that the Landscaping Works are successful, the District will release the Warranty Deposit.

## 6.3 Additional Landscape Security

(a) No occupancy shall be issued nor will any other final approvals be given for any individual building site identified on the Lands as shown on attached Schedule A, until:

- a. all of the Landscaping Works are completed, or
- b. the Owner provides security in addition to and separate from the Landscape Deposit, and in the amount of 110% of the value of the uncompleted Landscaping Works for that specific Parcel only (the "Additional Security Deposit") for

the due and proper completion of the uncompleted or deficient Landscape Works for that specific Parcel only, as determined and certified by the consultant of record; and

- c. the Additional Security Deposit will be released upon final certification by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects following certification that all of the Landscaping Works on the Parcel have been completed.

**7.0** This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON \_\_\_\_\_ [ INSERT DATE] .

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO BY THE CURRENT OWNER. IT IS UNDERSTOOD:

- THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION; AND
- THE DEVELOPMENT MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFIED AT THE BUILDING PERMIT STAGE.

**FOR THE PURPOSES OF SECTION 7.0 THIS PERMIT IS ISSUED ON \_\_\_\_\_ [ INSERT DATE] .**

Schedules:

- A. Architectural Plans
- B. Landscape Plans
- C. Civil Drawings

# Gleneagles

6085 & 6093 Marine Drive

Re-Issue 2 for Rezoning, Development Permit  
& OCP Amendment

DECEMBER 9, 2025

## LEGAL DESCRIPTION:

LOT A (REFERENCE PLAN 2648) OF LOT 16 BLOCK 4 DISTRICT LOT 771  
GROUP 1 NEW WESTMINSTER DISTRICT PLAN 6025  
Parcel Identifier (PIN): 011-007-591

LOT 16, EXCEPT PART IN REFERENCE PLAN 2648, BLOCK 4  
DISTRICT LOT 771 GROUP 1 NWD PLAN 6025  
Parcel Identifier (PIN): 011-007-656

## CLIENT:

LPI MANAGEMENT LTD.  
PHONE: 778 945 0395  
CONTACT: ELISE SPEARING - Elise.Spearing@ledcor.com

## ARCHITECT:

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PHONE: 604 683 4131  
CONTACT: LOUISE WEBB - lwebb@merrickarch.com  
CAROLINA SA BRITO - csabrito@merrickarch.com

## SURVEYOR:

MATSON PECK & TOPLISS AND MPT ENGINEERING  
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## ARBORIST:

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## STRUCTURAL:

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## MECHANICAL:

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## ELECTRICAL:

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## LANDSCAPE:

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CONTACT: MICHAEL PATTERSON - mp@perryandassociates.ca  
THADDEUS HOLLAND - th@perryandassociates.ca

## GEOTECHNICAL:

GEOPACIFIC  
PHONE: 604 439 0922  
CONTACT: SEAN HEFFERNAN - heffernan@geopacific.ca

## TRANSPORTATION:

STEP ONE MOBILITY  
PHONE: 778 888 0387  
CONTACT: JOHN TURECKI - john@steponemobility.com

## LIST OF ARCHITECTURAL DRAWINGS

A0.00 COVER SHEET  
A0.01 DEVELOPMENT STATEMENT BRIEF  
A0.02 PROJECT STATISTICS  
A0.03 SETBACK DIAGRAM, UNIT PLANS  
A0.04 SETBACK DIAGRAM, ROOF AND DECK  
A0.05 BC BUILDING CODE PROVISION & SPATIAL SEPARATION CALCULATION  
A0.06 BC BUILDING CODE PROVISION & SPATIAL SEPARATION CALCULATION  
A0.07 SURVEY  
A0.10 FAR AREA OVERLAY  
A0.11 LEVEL 1 & PARKING PLAN  
A0.12 LEVEL 2 FAR AREA OVERLAY  
A0.13 LEVEL 3 FAR AREA OVERLAY

A1.01 LOCATION AND CONTEXT PLAN  
A1.02 SITE PHOTOS  
A1.03 SITE PLAN  
A1.04 AVERAGE GRADE CALCULATIONS  
A1.05 PROPOSED BUILDING SURVEY OVERLAY

A2.01 LEVEL 1 & PARKING PLAN  
A2.02 LEVEL 2 PLAN  
A2.03 LEVEL 3 PLAN  
A2.04 ROOF PLAN

A3.00 STREETSAPES  
A3.01 WEST ELEVATION  
A3.02 EAST ELEVATION  
A3.03 NORTH ELEVATION  
A3.04 SOUTH ELEVATION  
A3.05 MATERIALS

A4.01 SITE LONGITUDINAL AND CROSS SECTIONS  
A4.02 SITE CROSS SECTIONS  
A4.03 BUILDING CROSS SECTIONS  
A4.04 BUILDING CROSS SECTIONS  
A4.05 BUILDING LONGITUDINAL SECTIONS  
A4.06 ENLARGED BUILDING SECTION  
A4.07 ENLARGED BUILDING SECTION

A5.01 RENDERINGS  
A5.02 RENDERINGS

A6.01 UNIT PLANS - TH A UNITS 4 & B  
A6.02 UNIT PLANS - TH B UNITS 3 & 7  
A6.03 UNIT PLANS - TH BE UNIT 1  
A6.04 UNIT PLANS - TH A2 UNITS 2, 6 & 10  
A6.05 UNIT PLANS - TH B2 UNITS 5 & 9  
A6.06 UNIT PLANS - TH C UNIT 12  
A6.07 UNIT PLANS - TH D UNIT 11

## LIST OF LANDSCAPE DRAWINGS:

L0.0 OVERALL CONTEXT PLAN  
L1.0 LANDSCAPE PLAN  
L1.1 SCHEMATIC LIGHTING COORDINATION PLAN  
L1.2 TREE MANAGEMENT PLAN  
L2.0 LANDSCAPE GRADING PLAN  
L2.1 SOIL VOLUME PLAN  
L3.0 LANDSCAPE PLANTING PLAN  
L3.1 SCHEMATIC IRRIGATION PLAN  
L4.0 LANDSCAPE SECTIONS  
L4.1 LANDSCAPE SECTIONS  
L5.0 PRECEDENT IMAGES

## LIST OF CIVIL DRAWINGS:

KEY COVER SHEET  
SERV KEY PLAN  
SMP SERVICING PLAN  
R-1 STORMWATER MANAGEMENT  
ROADWORKS MARINE DRIVE PLAN & PROFILE

DP-25-012  
Schedule A

MERRICK  
ARCHITECTURE

BOROWSKI SAKUMOTO MCINTYRE WEBB LTD.

## VANCOUVER

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Revision No.	Description	Date
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Issue	Issue Date
ISSUED FOR DP/ REZONING/ OCP AMENDMENT	2025-01-28
RESUBMITTED FOR DP / REZONING / OCP AMENDMENT	2025-07-31
RE-ISSUE 2 FOR DP REZONING / OCP AMENDMENT	2025-12-09
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Consultant



Project

Gleneagles  
6085 & 6093 MARINE DRIVE  
WEST VANCOUVER  
For  
LPI MANAGEMENT LTD.

Sheet Title  
COVER SHEET

Drawn By	Checked
CSB	LHW
Project Number	Scale
202354	AS NOTED
Revision	Sheet Number
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A0.00



**PROJECT DESCRIPTION**

THE PROPOSED SITE IS LOCATED AT 6085-6093 MARINE DRIVE, WITH A TOTAL AREA OF 0.7 ACRE (2,830 SQ.M.), IN THE GLENEAGLES NEIGHBOURHOOD. IT IS CURRENTLY OCCUPIED BY A ONE-STORY UTILITIES AND COMMUNICATIONS BUILDING (TELUS CENTRAL OFFICE "CO"). ADJACENT USES INCLUDE THE SEAVIEW TRAIL GREENWAY TO THE EAST, A TRAILHEAD PARKING LOT TO THE NORTH, A SINGLE FAMILY HOME TO THE SOUTH, AND SINGLE FAMILY HOMES TO THE WEST (ACROSS MARINE DRIVE). THE SITE IS CURRENTLY ZONED AS SINGLE FAMILY DWELLING ZONE 4 (RS-4), WHICH PERMITS DEVELOPMENT OF A TWO-STORY, SINGLE FAMILY DWELLING WITH MAXIMUM FLOOR AREA OF 438 SQ.M. THE PROPOSAL REQUIRES REZONING OF THE PROPERTY TO A CD ZONE AND AN OFFICIAL COMMUNITY PLAN (OCP) AMENDMENT, TO PLACE THE SITE WITHIN A DEVELOPMENT PERMIT AREA (DPA), TO BE DETERMINED BY THE DISTRICT.

THE PROPOSED MULTI-FAMILY PROJECT HAS 12 TOWNHOUSES EACH WITH 3 STOREYS COMPRISING PARKING, DEN AND STORAGE SPACE ON LEVEL 1, LIVING, DINING AND KITCHEN SPACES ON LEVEL 2, AND BEDROOMS AND BATHROOMS ON LEVEL 3. LEVEL 2 INCLUDES OUTDOOR PATIO SPACES VIEWING THE FORESTED SLOPES OF THE SEAVIEW TRAIL GREENWAY. LEVELS 2 AND 3 WILL FEATURE WEST-FACING OUTDOOR DECK SPACES. BEHIND THE DEN AND ENTRANCE, LEVEL 1 IS LINKED TO THE PARKING GARAGE COMPLETE WITH SECURE STORAGE SPACE FOR TWO BICYCLES PER UNIT. THE TOWNHOUSES ARE SET BACK FROM MARINE DRIVE, BOTH TO MITIGATE ROAD NOISE AND TO TAKE ADVANTAGE OF THE WESTERN SUNLIGHT. THE CURRENT MASSING INDICATES A PROPOSED STAGGER TO THE TOWNHOUSES TO PROVIDE ARTICULATION IN THE FACADE AND ALSO PRIVACY BETWEEN UNITS. THE MARINE DRIVE CORRIDOR IS HOME TO AN ECLECTIC MIX OF ARCHITECTURAL STYLES. THIS PROJECT WILL RESPOND TO THE SURROUNDING WEST-COAST AESTHETIC.

THE DESIGN ALSO TAKE INTO CONSIDERATION TREE RETENTION ON THIS PARTLY WOODED SITE. GIVEN THE PROXIMITY TO THE SPIRIT TRAIL AND THE SITE'S ORIENTATION, THE NORTHERN SIDE IS MORE WOODED AND RELATES TO THE EXISTING TRAIL. WE ARE PROPOSING LARGE LIVABLE FRONT AND BACK GARDENS. THE INTENTION IS TO RETAIN THE TREES TO THE SOUTHERN AND NORTHERN END OF THE SITE, BASED ON ADVICE FROM A PROFESSIONAL ARBORIST.

**PROJECT RATIONALE**

THE SITE IS LOCATED ALONG THE MARINE DRIVE TRANSIT CORRIDOR WHERE A RANGE OF MISSING MIDDLE HOUSING FORMS, SUCH AS TOWNHOMES, ARE ENVISIONED BY THE OCP, TO A MAXIMUM OF 3 STOREYS, NEAR NEIGHBOURHOOD HUBS.

**COMPLIANT WITH OCP:**

THIS APPLICATION IS COMPLIANT WITH THE OCP POLICY 2.1.4 TO INCREASE MISSING MIDDLE HOUSING OPTIONS, UP TO 3 STOREYS, IN KEY AREAS ALONG THE MARINE DRIVE CORRIDOR. THE PROPOSAL HAS BEEN DEVELOPED REFERENCING ZONING PARAMETERS FOR RM-2 MULTIPLE DWELLING ZONE 2. WE ARE PROPOSING THREE STOREY FORMS, IN LINE WITH THE VISION UNDER THE OCP TO EXPAND MISSING MIDDLE HOUSING IN THIS AREA.

**PROXIMITY TO A NEIGHBOURHOOD HUB:**

ALIGNED WITH THE OCP'S DIRECTION FOR WHERE MISSING MIDDLE HOUSING CAN BE LOCATED, OUR PROPOSAL IS A SHORT 5-MINUTE WALK TO NEIGHBOURHOOD AMENITIES AND RECREATIONAL OPTIONS, INCLUDING A COMMUNITY CENTRE AND GOLF COURSE.

**WELL CONNECTED:**

THE SITE IS CONNECTED TO HORSESHOE BAY, DUNDARAVE VILLAGE, AMBLESIDE AND VANCOUVER VIA BUS TRANSIT AND IS A SHORT DRIVE TO THE WEST VANCOUVER YACHT CLUB AND MARINA, AND HIGHWAYS 99 & 1. THERE IS ALSO THE SPIRIT/SEAVIEW WALKING TRAIL EXTENDING NORTH AND EAST BEHIND THE SITE AND A BIKE ROUTE ALONG MARINE DRIVE.

**DESIGNED TO RESPECT SURROUNDING CONTEXT:**

DUE TO THE DEEPLY SLOPING TOPOGRAPHY, TOWNHOUSES HAVE BEEN GENEROUSLY SET BACK FROM MARINE DRIVE WITH GENEROUSLY LANDSCAPED FRONT YARDS. THIS WILL HELP TO MITIGATE ROAD NOISE AND RESPECT THE RESIDENTIAL CHARACTER OF THE SURROUNDING NEIGHBOURHOOD.

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RE-ISSUE 2 FOR DP REZONING / OCP AMENDMENT	2025-12-09
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Project

**Gleneagles**  
 6085 & 6093 MARINE DRIVE  
 WEST VANCOUVER  
 For  
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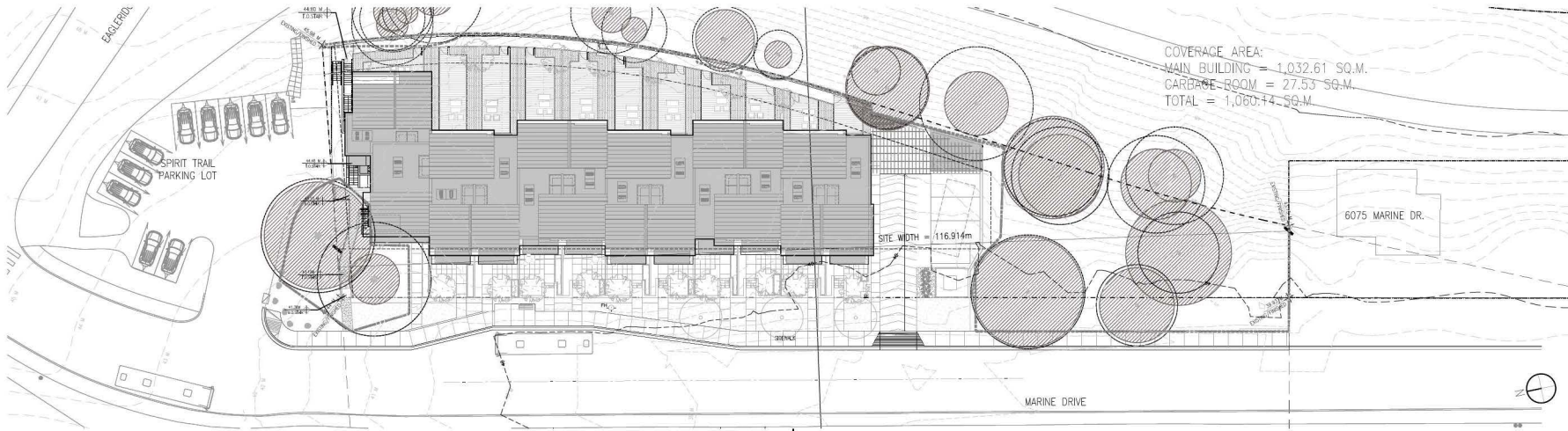
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**DEVELOPMENT STATEMENT BRIEF**

Drawn By	Checked
LHW/CBSB	LHW
Project Number	Scale
202354	AS NOTED
Revision	Sheet Number

**A0.01**

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**ZONING BYLAW TABLE - PROJECT STATISTICS**

COMPREHENSIVE DEVELOPMENT CD				
SITE DIMENSIONS: 116.555m (LENGTH); 31.220m (DEPTH AT NORTH); 8.873m (DEPTH AT SOUTH)				
TOTAL SITE AREA = 2,830.3 SQ.M.				
	EXISTING ZONE (RS-4 SINGLE FAMILY DWELLING ZONE 4)	ZONING BY-LAW REFERENCE	PROPOSED (CD ZONE)	VARIANCE REQUESTED
FAR	0.3 (48.9 SQ.M.) FOR SITE AREA GREATER THAN 681.3 M2	SECTION 204.04(1)	0.70 (1,962.60 SQ.M.) (ADJUSTED TO REDUCE 0.08 FLOOR AREA FOR STEP CODE 4 HIGH PERFORMANCE BUILDING PER ZONING BY-LAW 120.29(1)(b)(ii))	
FRONT YARD SETBACK	9.1 M	SECTION 204.07	6.00 M	
REAR YARD SETBACK	9.1 M	SECTION 204.08	3.66 M	VARIANCE REQUIRED FOR LOCATING GARAGE ROOM IN REAR SETBACK AREA (ZONING BY-LAW 120.29(1)(b)(ii))
SIDE YARD SETBACK	10% OF SITE WIDTH (1.5 M MIN TO 3.4 M MAX) FOR 2-STORY'S DWELLING	SECTION 204.09(2)(a)(i)	1.52 M (NORTH) 36.40 M (SOUTH)	
COMBINED SIDE YARD	25% OF SITE WIDTH (4.57 M MIN TO 18.2 M MAX)	SECTION 204.09(2)(b)(i)(ii)	N/A	
SIDE YARD FROM A STREET LINE OF A CORNER SITE	9.1 M	SECTION 204.09(5)	N/A	
SITE COVERAGE	30% FOR SITE AREA GREATER THAN 685.0 SQ.M.	SECTION 204.05(1)	34.40% (973.33 SQ.M.) (ADJUSTED TO REDUCE 0.08 SITE COVERAGE FOR STEP CODE 4 HIGH PERFORMANCE BUILDING PER ZONING BY-LAW 120.29(1)(b)(ii))	
SITE WIDTH	17.1 M MINIMUM; EXCEPT 20.1 M FOR A FLANNING LOT	SECTION 204.04	116.914 M (PER ZONING BY-LAW 120.25(1)(b))	
BUILDING WIDTH	N/A	--	64.675 M	
HEIGHT	7.62 M	SECTION 204.10	11.045 M (ADJUSTED TO REDUCE BY 0.3 M FOR STEP CODE 4 HIGH PERFORMANCE BUILDING PER ZONING BY-LAW 120.29(1)(b)(ii))	
NUMBER OF STOREYS	2 STOREYS PLUS BASEMENT	SECTION 204.11	3 STOREYS	
HIGHEST BUILDING FACE ENVELOPE	6.7 M	SECTION 204.12	11.045 M (ADJUSTED TO REDUCE BY 0.3 M FOR STEP CODE 4 HIGH PERFORMANCE BUILDING PER ZONING BY-LAW 120.29(1)(b)(ii))	
PARKING	1 SPACE PER DWELLING	SECTION 141.01(2)(a)	2 SPACES PER DWELLING	
ACCESSIBLE PARKING	1 SPACE PER 10-75 REQUIRED PARKING SPACES	SECTION 142.09(1)	1 SPACE	
VISITOR PARKING	N/A	--	4 SPACES	
TOTAL PARKING SPACE			29 SPACES (INCLUDING 1 ACCESSIBLE SPACE)	
SECURED BICYCLE PARKING	1.5 SPACES PER DWELLING	SECTION 143.01(3)(a)	24 SPACES (2 PER DWELLING UNIT)	
SHORT TERM BICYCLE PARKING	0.2 SPACES PER DWELLING	SECTION 143.02(1)(b)	0.25 SPACES PER DWELLING (3 SPACES)	
NUMBER OF DWELLING UNITS			12 UNITS	

**FAR CALCULATIONS**

	AREA (SQ.M.)	SFE AREA (SQ.M.)	FAR
LEVEL P1	312.51		
LEVEL 1	926.39		
LEVEL 2	924.59		
<b>TOTAL PROJECT FLOOR AREA (SQ.M.)</b>	<b>2,163.49</b>	<b>2,830.30</b>	<b>0.76</b>

**UNIT STATISTICS**

	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	UNIT 7	UNIT 8	UNIT 9	UNIT 10	UNIT 11	UNIT 12	TOTAL
TOWNHOME TYPE	B2	A2	B	A	B2	A2	B	A	B2	A2	D	C	
AREA (SQ.M.)	LEVEL 1: 22.78 LEVEL 2: 80.30 LEVEL 3: 80.49 TOTAL: 183.57	28.43 76.63 76.74 182.02	23.05 76.61 76.79 176.45	22.05 75.77 76.98 175.44	27.5 76.58 76.82 180.9	28.43 76.63 76.74 182.02	22.71 75.77 76.98 176.45	22.05 75.77 76.98 175.44	27.5 76.58 76.82 180.9	28.43 76.63 76.98 182.02	39.88 75.45 73.12 188.45	22.31 78.31 78.31 178.93	312.51 926.39 924.59 2,163.49

NUMBER OF BEDROOMS	3	3	3	3	3	3	3	3	3	3	3	3
PARKING STALLS	2	2	2	2	2	2	2	2	2	2	2	2
BIKE PARKING SPACE	2	2	2	2	2	2	2	2	2	2	2	2

TOWNHOME TYPE	TH A	TH B	TH C	TH D	TOTAL
TOTAL COUNT	5	5	1	1	12

**CIRCULATION AND PARKING**

ALL PARKING IS UNDERGROUND WITH THE EXCEPTION OF 4 VISITOR PARKING STALLS. PARKADE ENTRANCE IS NOT VISIBLE FROM THE STREET. BICYCLE PARKING PROVIDED FOR RESIDENTS AND VISITORS.

**SUSTAINABILITY**

IN KEEPING WITH THE OCP, THE PROJECT AIMS TO ACHIEVE A HIGHER DEGREE OF SUSTAINABILITY THROUGH ADDING GENTLE DENSITY INTO A PREDOMINANTLY SINGLE FAMILY AREA. PROJECT AIMS TO MAINTAIN A 30% WINDOW WALL RATIO. PROJECT WILL GO BEYOND CODE MINIMUM TO ACHIEVE BCBC STEP CODE 4 + EFT 3.

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WEST VANCOUVER  
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Sheet

Title **PROJECT STATISTICS**

Drawn By	Checked
bw	LHW
Project Number	Scale
202354	AS NOTED
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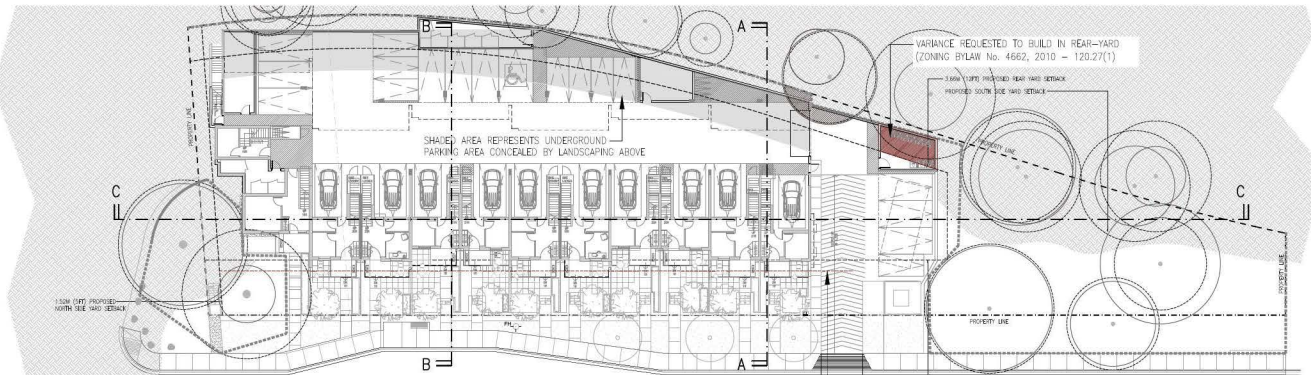
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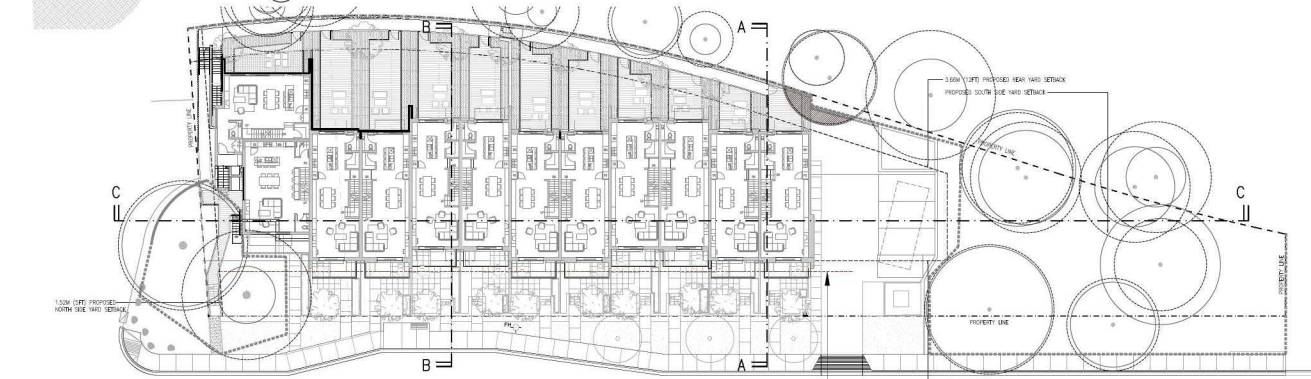
**SETBACK DIAGRAM - FLOOR PLANS**

Drawn By	Checked
bw	LHW
Project Number	Scale
202354	AS NOTED
Revision	Sheet Number

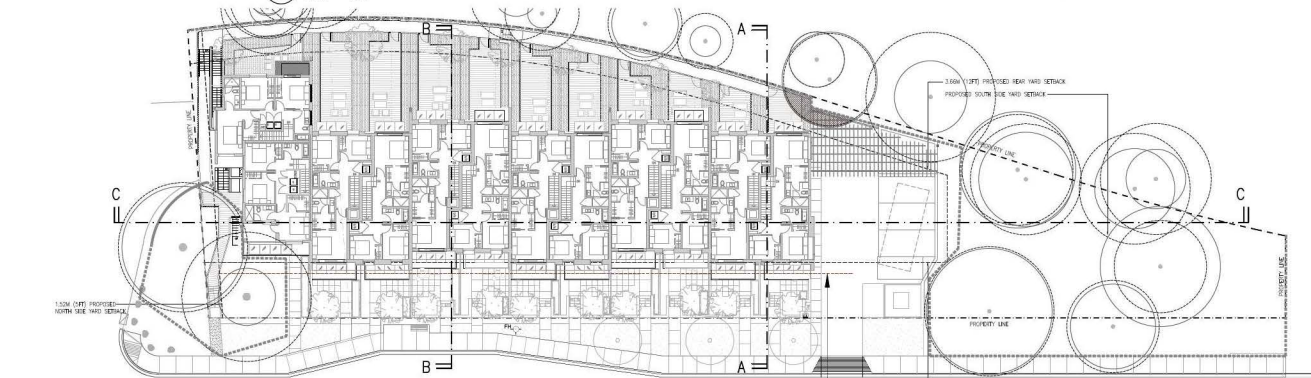
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1 LEVEL 1 SETBACK DIAGRAM  
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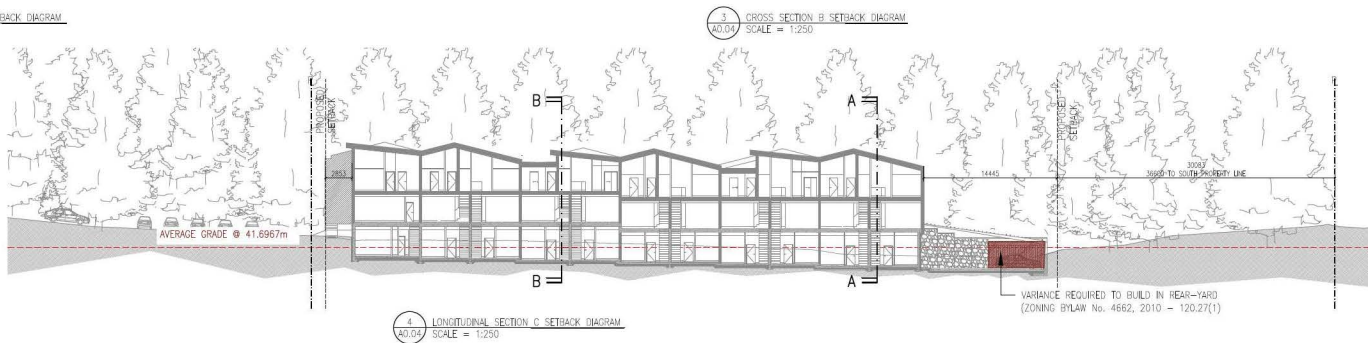
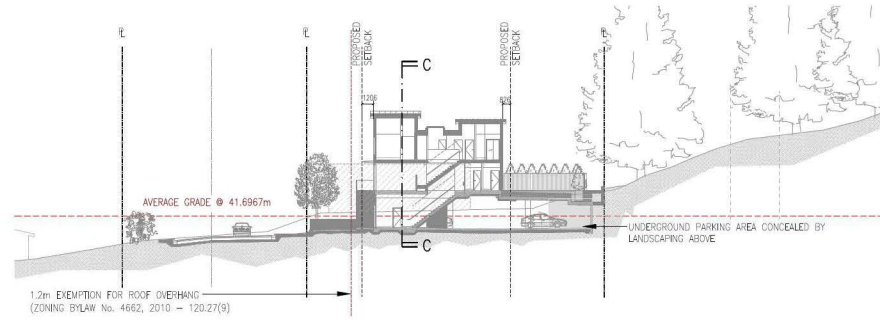
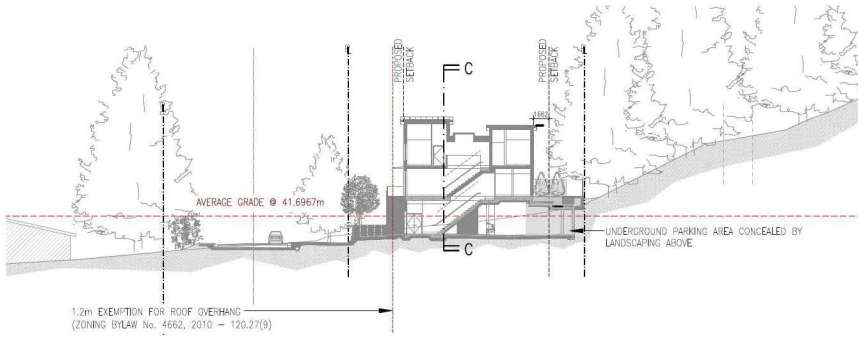
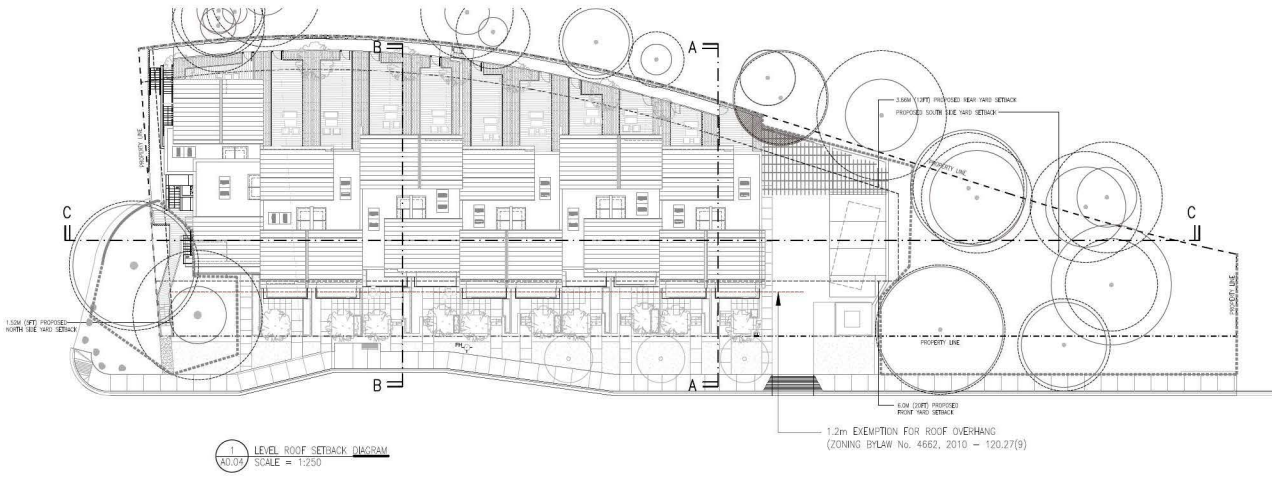


2 LEVEL 2 SETBACK DIAGRAM  
SCALE = 1:250



3 LEVEL 3 SETBACK DIAGRAM  
SCALE = 1:250

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Sheet

**SETBACK DIAGRAM - LEVEL ROOF & SECTIONS**

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lw	LHW
Project Number	Scale
202354	AS NOTED
Revision	Sheet Number

**A0.04**



Revision No.	Description	Date

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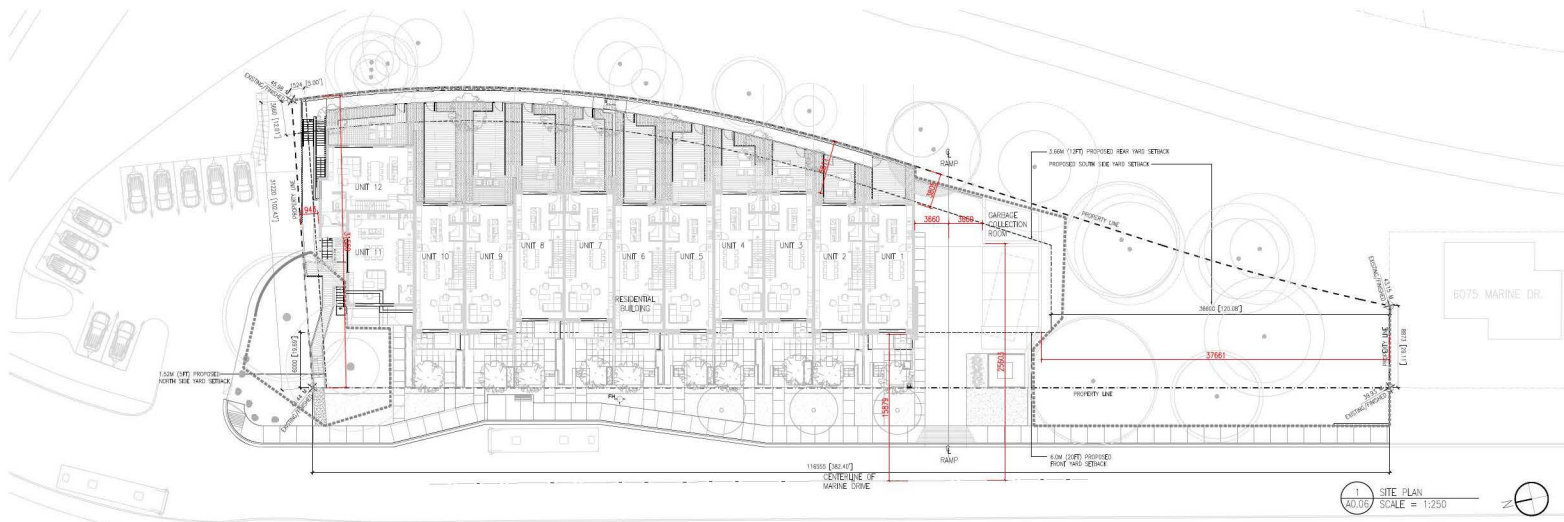
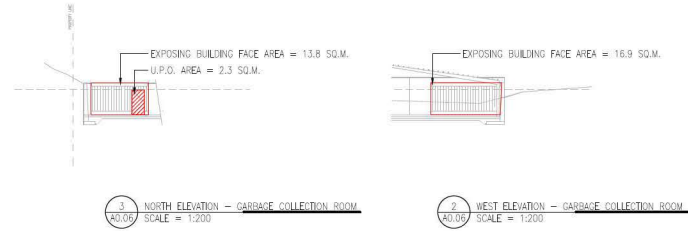


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Sheet Title: **BC BUILDING CODE PROVISION & SPATIAL SEPARATION CALCULATION**  
Drawn By: LHW  
Checked By: LHW  
Project Number: 202354  
Scale: AS NOTED  
Revision: \_\_\_\_\_  
Sheet Number: \_\_\_\_\_

**A0.06**



**GARBAGE COLLECTION BUILDING**  
BUILDING AREA = 25.16 SQ.M.  
FACING 1 STREET  
BUILDING HEIGHT = 1 STOREY  
SPRINKLERED  
FIRST FLOOR = LEVEL P1  
OCCUPANCY = GROUP F2 - GARBAGE COLLECTION

**CONSTRUCTION CLASSIFICATIONS:**  
GROUP F2  
- 3.2.2.81  
- COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION  
- FLOOR SHALL HAVE FIRE RESISTANCE RATING NOT LESS THAN 45 MIN. FOR COMBUSTIBLE CONSTRUCTION  
- STRUCTURE TO HAVE FIRE-RESISTANCE RATING NOT LESS THAN 45 MIN. OR BE OF NONCOMBUSTIBLE CONSTRUCTION

**ESTIMATION FOR SPATIAL SEPARATION - GARBAGE ROOM:**

LEVEL	DIRECTION	OCCUPANCY	HEIGHT (m)	WIDTH (m)	AREA (sq.m.)	LIMITING DISTANCE (m)	LIMITING DISTANCE MEASUREMENT TO	SPRINKLERS	UNPROTECTED OPENING PERMITTED (%) ESTIMATED FROM B.C.B.C. (2024) TABLE 3.2.3.1-E	UNPROTECTED OPENING (U.P.O.) PROPOSED (%)	COMBUSTIBILITY OF WALL CONSTRUCTION FROM B.C.B.C. (2024) TABLE 3.2.3.7	COMBUSTIBILITY OF CLADDING FROM B.C.B.C. (2024) TABLE 3.2.3.7	REQUIRED FIRE RESISTANCE RATING FROM B.C.B.C. (2024) TABLE 3.2.3.7
P1	NORTH	GARBAGE COLLECTION ROOM (ASSUMED F2)	2.773	4.973	13.80	3.660	CENTER OF RAMP	NO	74.78	18.12	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE	1 HOUR
	EAST		0	PROPERTY LINE	YES	0	0	N/A	N/A	N/A			
	SOUTH		CONNECTED TO RETAINING WALL AND UNDERGROUND	37.661	PROPERTY LINE	>100	0	N/A	N/A	N/A			
	WEST		N/A	26.803	CENTER OF ROAD	>100	0	N/A	N/A	N/A			

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 12 TOWNHOMES DEVELOPMENT

LEVEL	A	B	C				D	E
	TOTAL FLOORPLATE AREA (SQ.M.) (B+C)	RESIDENTIAL (SQ.M.)	EXEMPTED				EXEMPTED	FAR AREA (SQ.M.) (B)
			BALCONY (SQ.M.)	STORAGE/BIKE STORAGE (SQ.M.)	SERVICES (SQ.M.)	PARKING (SQ.M.)	FRONT YARD/BACK YARD (SQ.M.)	
PARKING P1	1,449.83	312.51		66.07	87.76	988.83	411.12	312.51
LEVEL 1	1,022.86	925.39	97.47				661.41	925.39
LEVEL 2	952.12	924.59	27.53					924.59
TOTAL	3,424.81	2,162.49	125.00	66.07	87.76	988.83	1,072.53	2,162.49

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Sheet

Title **FAR AREA OVERLAY SUMMARY**

Drawn By bw	Checked LHW
Project Number 202354	Scale AS NOTED
Revision ---	Sheet Number ---

**A0.10**

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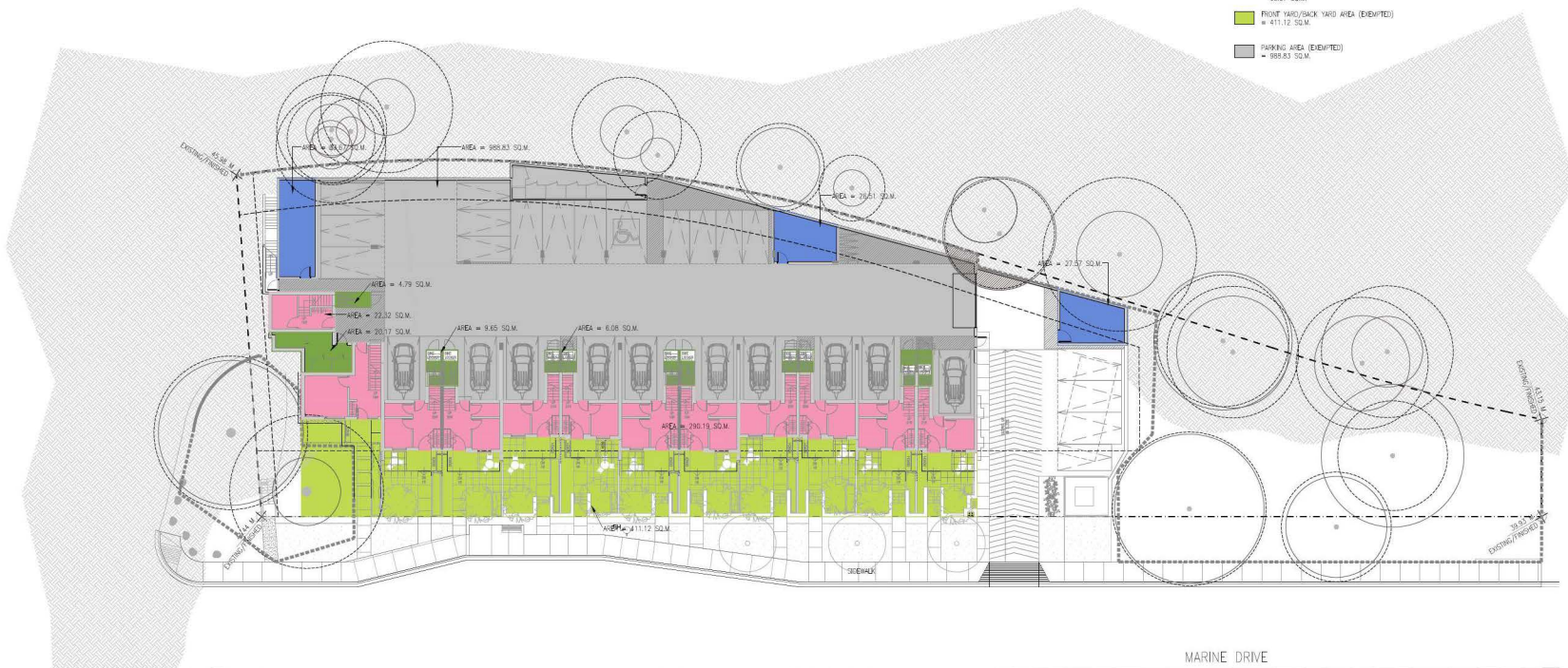
Project  
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Sheet Title  
**LEVEL 1 & PARKING FAR AREA OVERLAY**

Drawn By bw	Checked LHW
Project Number 202354	Scale AS NOTED
Revision ---	Sheet Number ---

**A0.11**

- PL LEVEL FAR AREA**
- RESIDENTIAL AREA (INCLUDED)  
= 250.19 SQ.M + 22.32 SQ.M = 312.51 SQ.M
  - SENSE AREA (EXEMPTED)  
= 33.87 SQ.M + 49.51 SQ.M + 27.57 SQ.M  
= 111.95 SQ.M
  - STORAGE/BIKE STORAGE AREA (EXEMPTED)  
= 20.17 SQ.M + 4.269 SQ.M + 20.65 SQ.M + (2X6.08 SQ.M)  
= 66.07 SQ.M
  - FRONT YARD/BACK YARD AREA (EXEMPTED)  
= 411.12 SQ.M
  - PARKING AREA (EXEMPTED)  
= 985.83 SQ.M



1 LEVEL 1 PLAN  
SCALE = 1:200

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Sheet Title

**LEVEL 2 FAR AREA  
OVERLAY**

Drawn By	Checked
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Project Number	Scale
202354	AS NOTED
Revision	Sheet Number

**A0.12**

**LEVEL 1 FAR AREA**

- RESIDENTIAL AREA (INCLUDED)  
= 925.39 SQ.M.
- OPEN BALCONY AREA (EXCLUDED)  
= 13.09 SQ.M. #8.55 SQ.M. #7.72 SQ.M. #8.55 SQ.M. #7.72 SQ.M. #8.55 SQ.M. #7.72 SQ.M. #8.55 SQ.M. #8.20 SQ.M. = 37.47 SQ.M.
- FRONT YARD/BACKYARD AREA (EXCLUDED)  
= 436.14 SQ.M. #141.89 SQ.M. #53.38 SQ.M. = 667.41 SQ.M.



1 LEVEL 2 PLAN  
SCALE = 1:200

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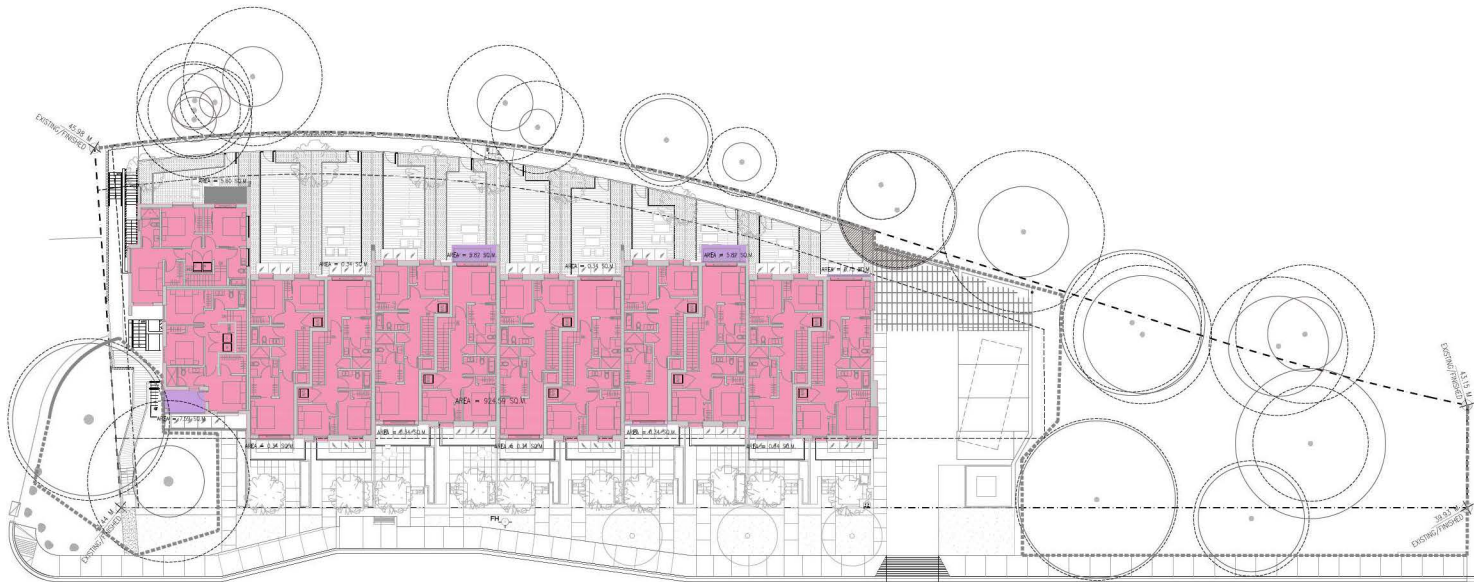
Sheet Title

**LEVEL 3 FAR AREA  
OVERLAY**

Drawn By	Checked
bw	LHW
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Revision	Sheet Number
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**A0.13**

**LEVEL 3 FAR AREA**  
■ RESIDENTIAL AREA (INCLUDED)  
 = 924.59 SQ.M.  
■ BALCONY AREA (EXEMPTED)  
 = 4.69 SQ.M. + 993.34 SQ.M. + 230.82 SQ.M. + 7.58 SQ.M.  
 = 233.53 SQ.M.



1 LEVEL 3 PLAN  
A0.13 SCALE = 1:200

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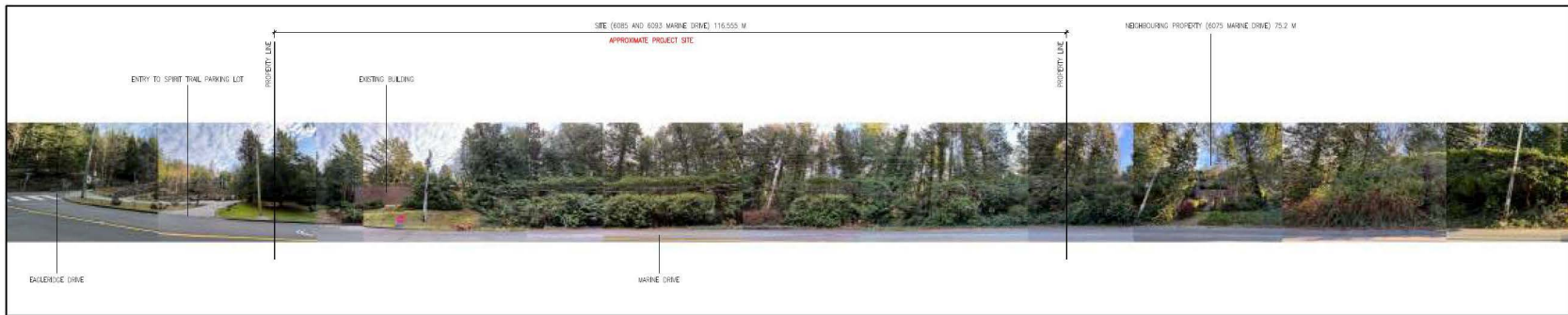
**LOCATION AND CONTEXT PLAN**

Drawn By	Checked
CSB	LHW
Project Number	Scale
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**A1.01**



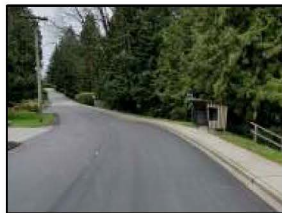
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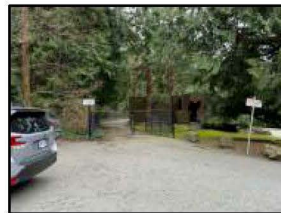
STREETScape FROM MARINE DRIVE



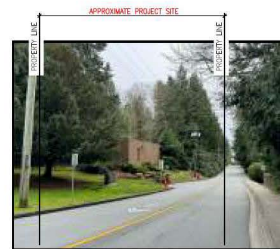
① VIEW FROM EALCLIDGE DRIVE TOWARDS MARINE DRIVE



② BUS STOP ACROSS MARINE DRIVE FROM SITE



③ VIEW FROM CAR PARK



④ VIEW TOWARDS THE EXISTING BUILDING ON SITE



⑤ VIEW FROM SEAWALK/SPIRIT TRAIL ENTRYWAY



⑥ VIEW FROM TRAIL TOWARDS EXISTING BUILDING ON SITE



⑦ VIEW FROM TRAIL TOWARDS SITE AND 6075



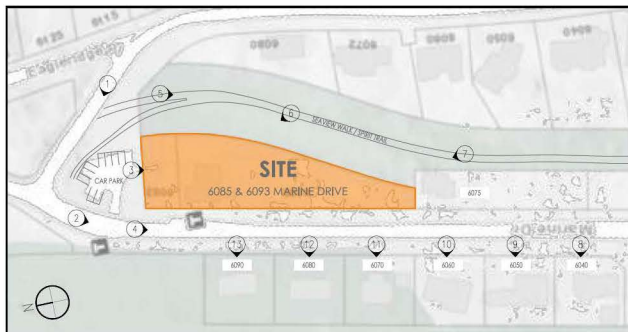
⑧ 6040 MARINE DRIVE



⑨ 6050 MARINE DRIVE



⑩ 6060 MARINE DRIVE



① KEY PLAN  
SCALE = 1:41.00



⑪ 6070 MARINE DRIVE



⑫ 6080 MARINE DRIVE



⑬ 6090 MARINE DRIVE

Revision No.	Description	Date

Issue	Issue Date
ISSUED FOR DP1 REZONING / OCP AMENDMENT	2025-01-28
RESUBMITTED FOR DP1 / REZONING / OCP AMENDMENT	2025-07-31
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Project

**Gleneagles**  
6085 & 6093 MARINE DRIVE  
WEST VANCOUVER  
For  
LPI MANAGEMENT LTD.

Sheet Title  
**SITE PHOTOS**

Drawn By CSB	Checked LHW
Project Number 202354	Scale AS NOTED
Revision ---	Sheet Number ---



Revision No.	Description	Date

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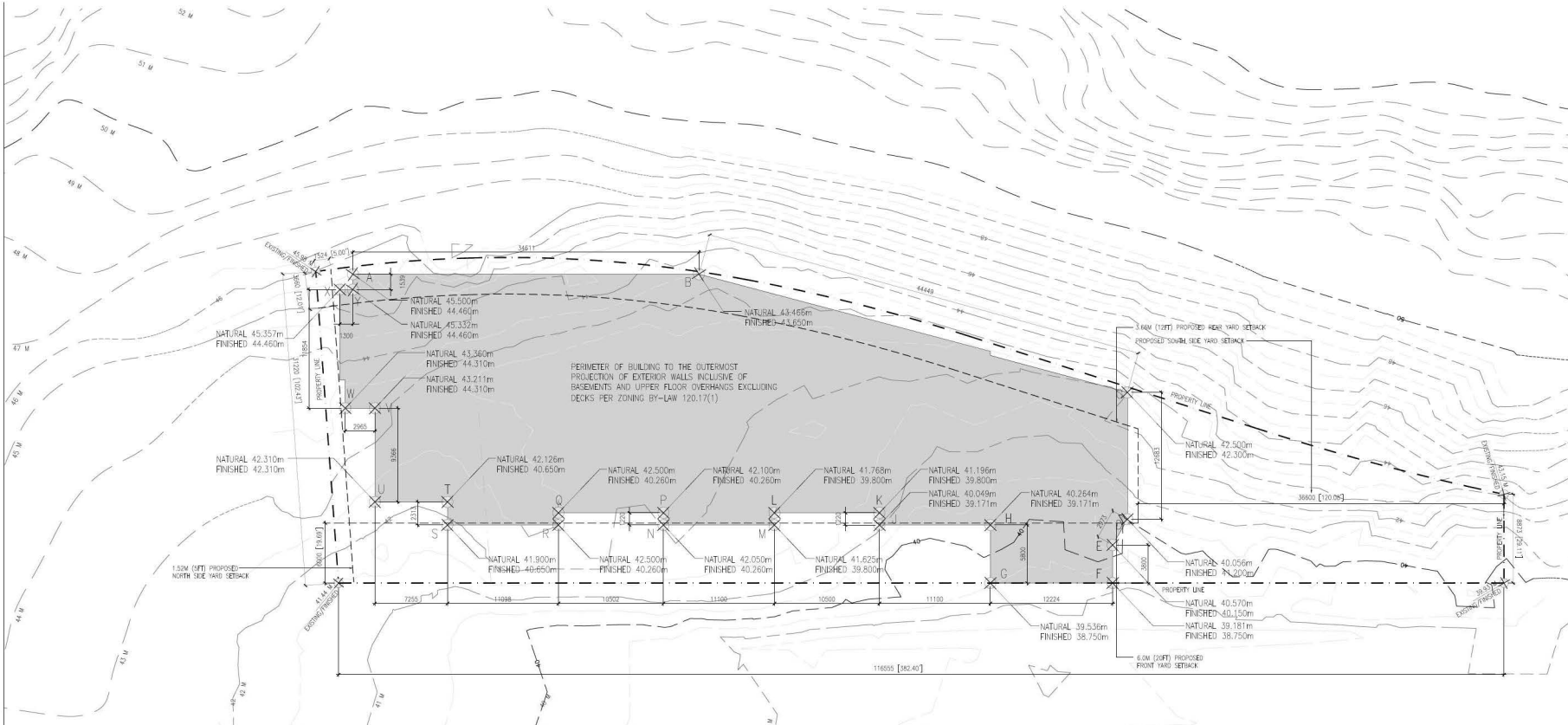
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Project  
**Gleneagles**  
6085 & 6083 MARINE DRIVE  
WEST VANCOUVER  
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Sheet Title	<b>AVERAGE GRADE CALCULATIONS</b>
Drawn By	Checked LHW
Project Number	Scale
202354	AS NOTED
Revision	Sheet Number

**A1.04**



**AVERAGE GRADE CALCULATION**  
SCALE = 1:200

**AVERAGE GRADE CALCULATION:**

POINTS	AVERAGE GRADE	LENGTH	RATED GRADE
A & B:	$(44.460+43.466)/2$	$34.611m$	$= 1,521.6034$
B & C:	$(43.466+42.300)/2$	$42.833m$	$= 1,901.3893$
C & D:	$(42.300+40.056)/2$	$13.097m$	$= 539.3083$
D & E:	$(40.056+40.150)/2$	$2.973m$	$= 119.2262$
E & F:	$(40.150+38.750)/2$	$3.800m$	$= 149.9100$
F & G:	$(38.750+38.750)/2$	$12.224m$	$= 473.6800$
G & H:	$(38.750+39.171)/2$	$5.800m$	$= 225.9709$
H & I:	$(39.171+39.171)/2$	$11.100m$	$= 434.7861$
I & J:	$(39.171+39.800)/2$	$1.220m$	$= 48.1723$
J & K:	$(39.800+39.800)/2$	$10.500m$	$= 417.9000$
K & L:	$(39.800+39.800)/2$	$1.220m$	$= 48.5560$
L & M:	$(39.800+39.800)/2$	$11.100m$	$= 444.3330$
M & N:	$(40.260+40.260)/2$	$1.220m$	$= 49.1172$
N & O:	$(40.260+40.260)/2$	$10.500m$	$= 422.8105$
O & P:	$(40.260+40.260)/2$	$1.220m$	$= 49.1172$
P & Q:	$(40.260+40.650)/2$	$11.098m$	$= 448.9696$
Q & R:	$(40.650+40.650)/2$	$2.313m$	$= 94.0235$
R & S:	$(40.650+42.310)/2$	$7.255m$	$= 300.9374$
S & T:	$(42.310+43.211)/2$	$9.366m$	$= 403.4948$
T & U:	$(43.211+43.360)/2$	$2.965m$	$= 128.3415$
U & V:	$(43.360+44.460)/2$	$11.854m$	$= 520.5091$
V & W:	$(44.460+44.460)/2$	$1.300m$	$= 57.9980$
W & X:	$(44.460+44.460)/2$	$1.539m$	$= 68.4239$
X & Y:			
Y & A:			
TOTAL:		212.616m	8,865.3903
AVERAGE GRADE =	8,865.3903/212.616m =	41.6967m	

- NOTES:**
- AVERAGE GRADES CALCULATION ACCORDING TO ZONING BYLAW 120.1(7)
  - CALCULATION FROM LOWER OF NATURAL GRADE OR FINISHED GRADE
  - EXISTING (NATURAL) GRADES ARE ESTIMATED FROM CONTOUR
  - FINISHED GRADES ARE ESTIMATED FROM PROPOSED DESIGN

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Consultant



Project

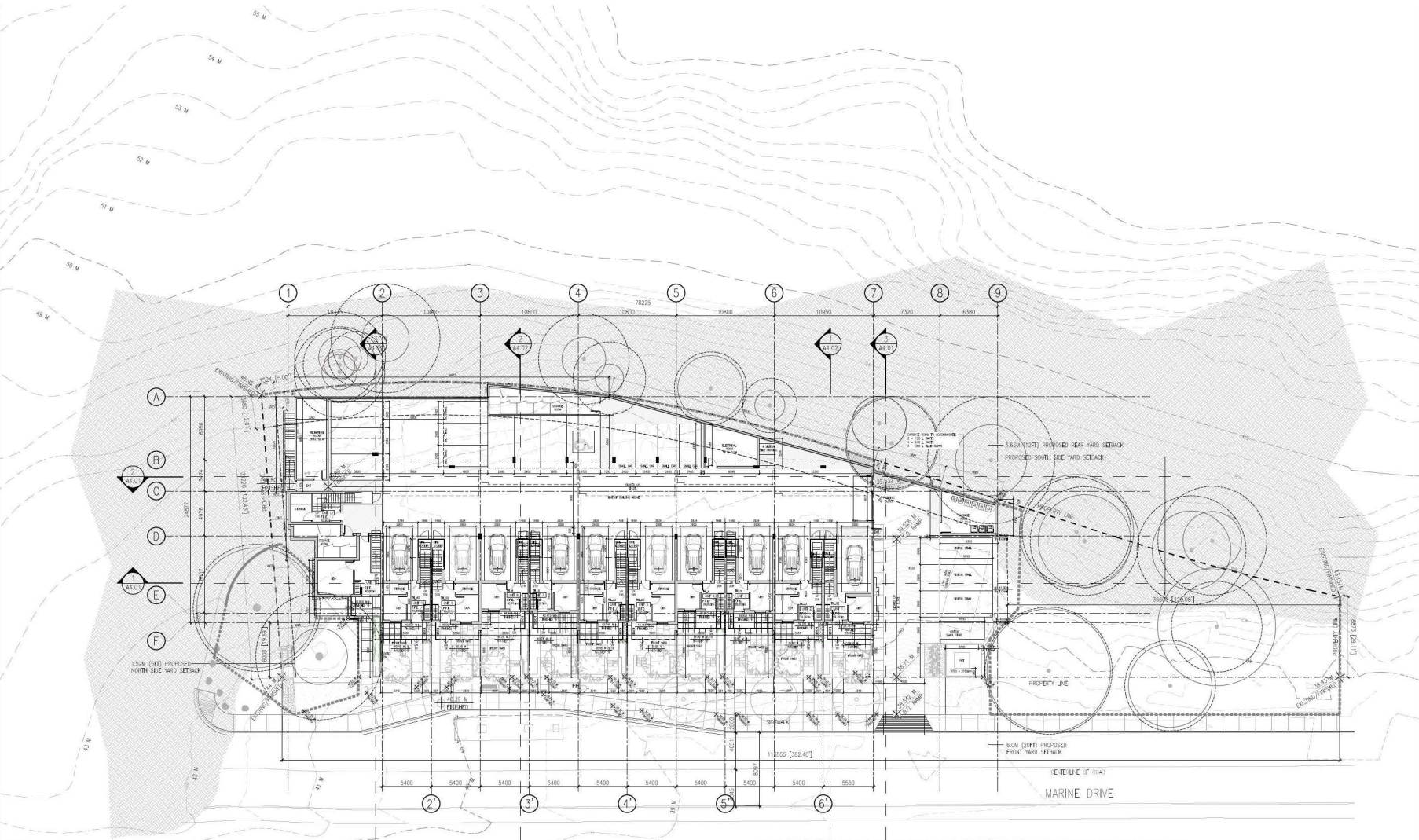
**Gleneagles**  
6085 & 6083 MARINE DRIVE  
WEST VANCOUVER  
For  
LPI MANAGEMENT LTD.

Sheet Title

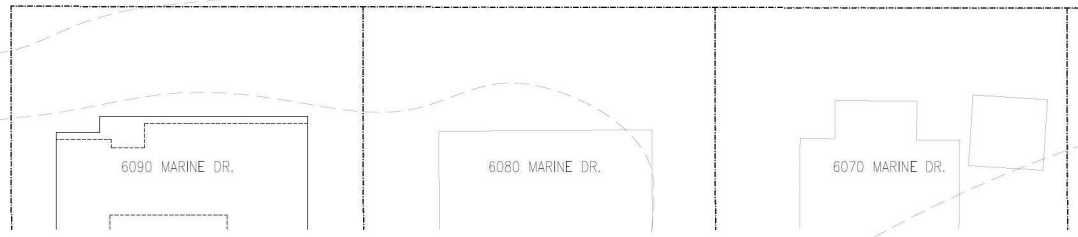
**LEVEL 1 & PARKING PLAN**

Drawn By	Checked
CSB	LHW
Project Number	Scale
202354	AS NOTED
Revision	Sheet Number

**A2.01**

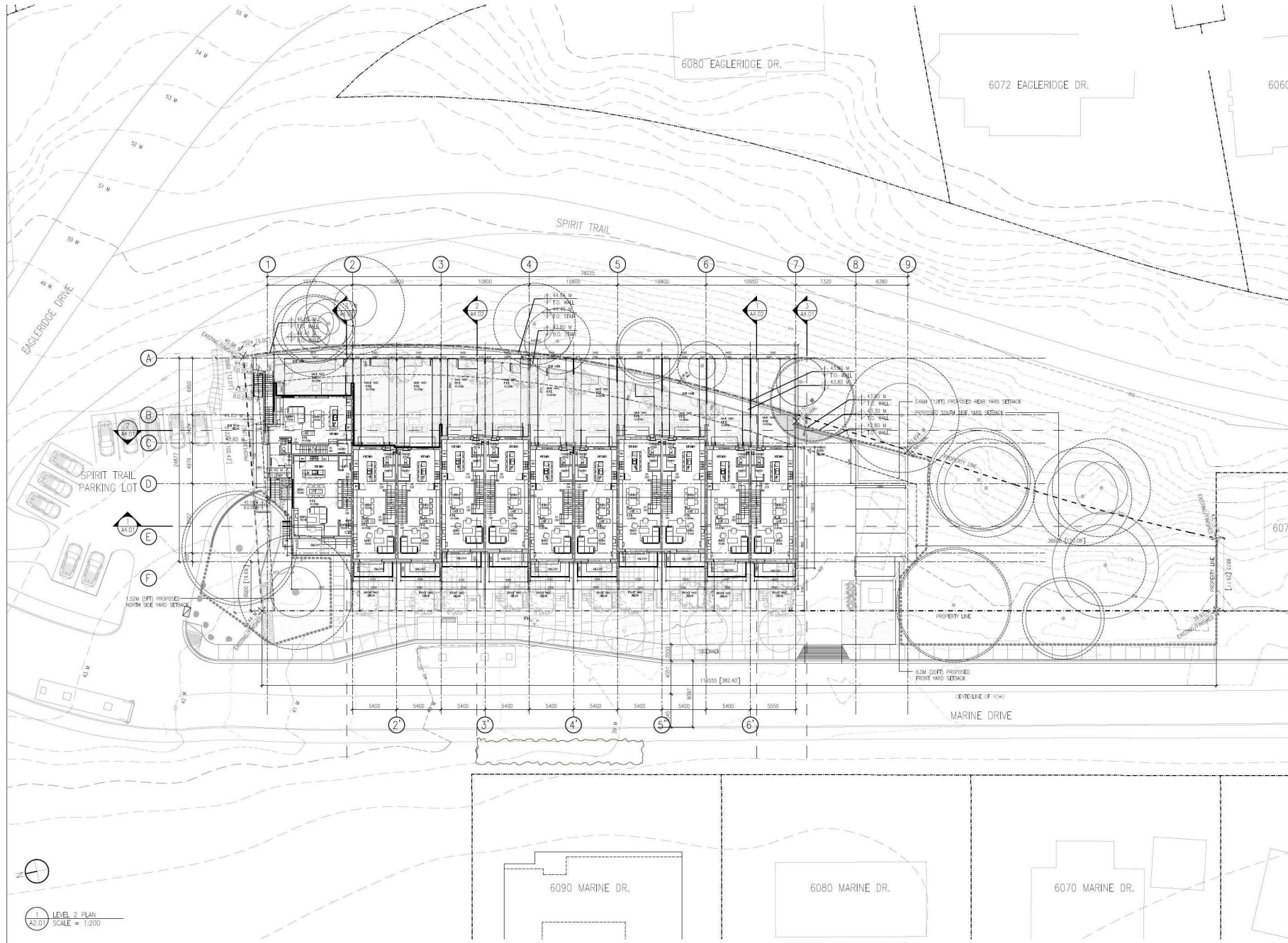


PERMEABLE VS IMPERMEABLE FRONT YARD AREA			
MATERIAL	AREA (SQ.M.)	PERMEABLE/ IMPERMEABLE	% OF TOTAL FRONT YARD AREA (786.72 SQ.M.)
PLANTING	458.78	PERMEABLE	58.32
GRAVEL DRIVEWAY	17.09	PERMEABLE	2.17
STONE / BRICK / PAVED / CONCRETE	310.81	IMPERMEABLE	39.51



1 LEVEL 1/PARKING PLAN  
SCALE = 1:200

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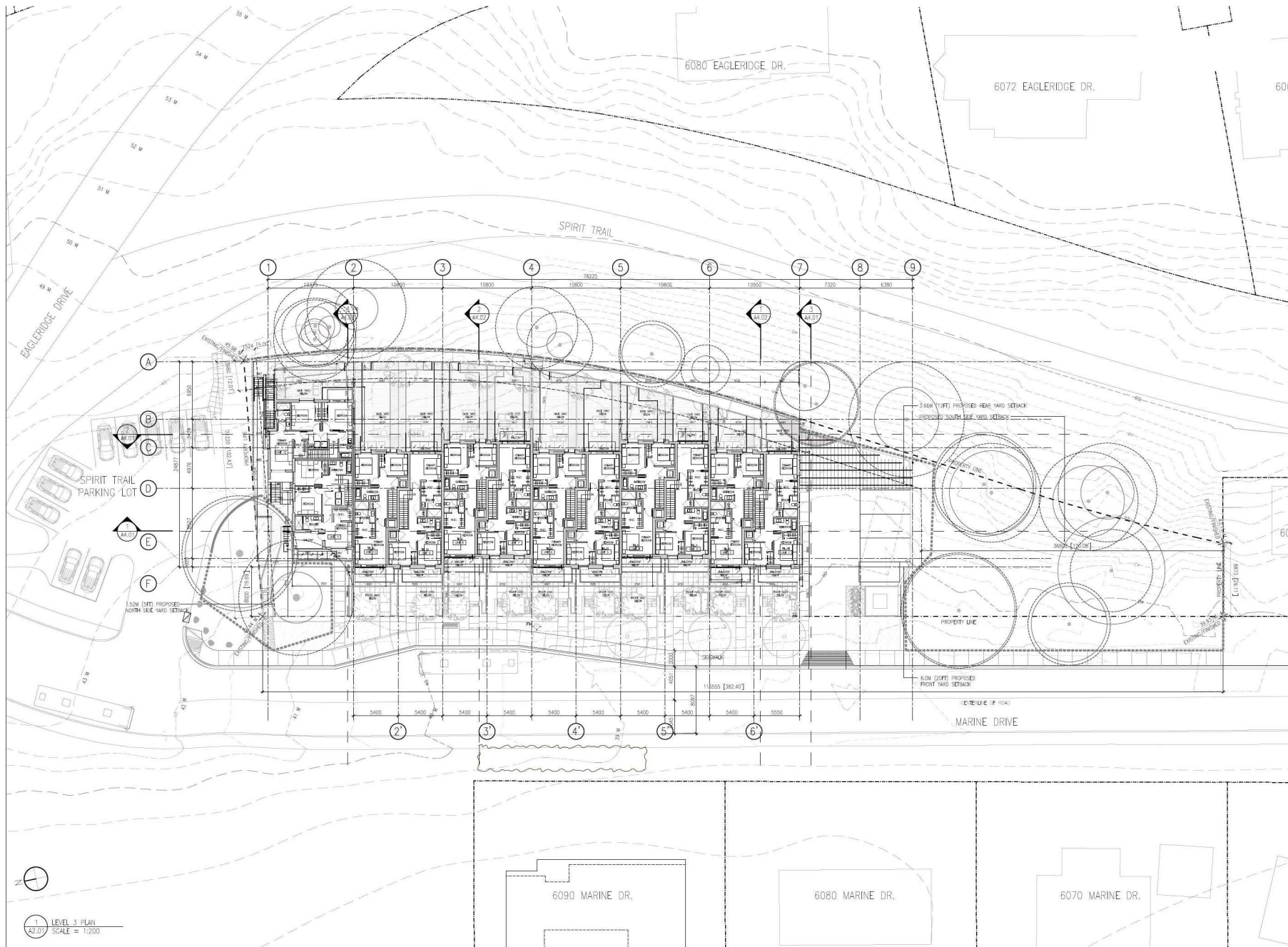
Sheet Title  
**LEVEL 2 PLAN**

Drawn By	Checked
CSB	LHW
Project Number	Scale
202354	AS NOTED
Revision	Sheet Number

**A2.02**

1 LEVEL 2 PLAN  
 82.00 SCALE = 1:200

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1 LEVEL 3 PLAN  
SCALE = 1:200



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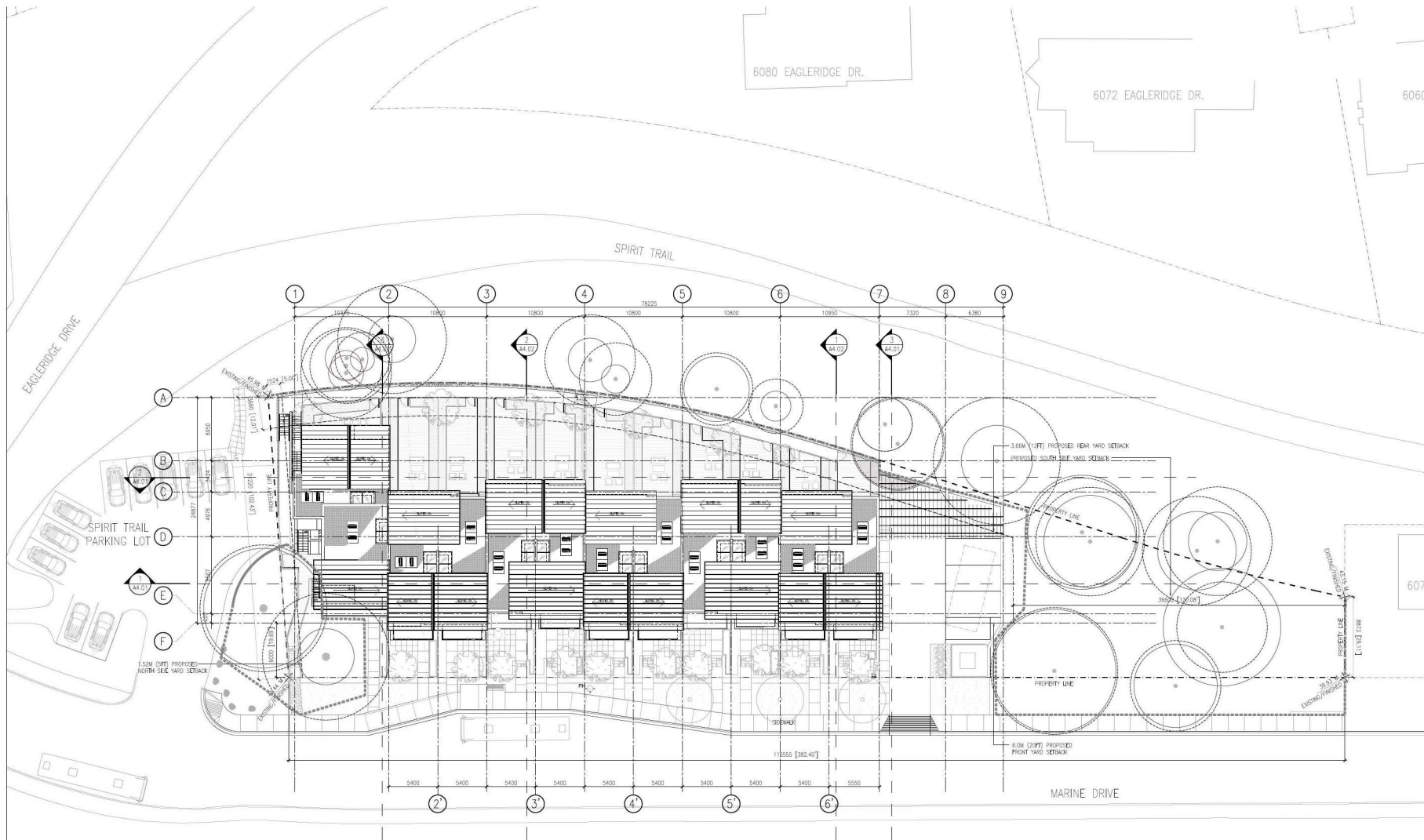
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Sheet Title  
**LEVEL 3 PLAN**

Drawn By	Checked
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**A2.03**

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1 ROOF PLAN  
 42.00 SCALE = 1:200

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Project  
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Sheet Title  
**ROOF PLAN**

Drawn By CSB	Checked LHW
Project Number 202354	Scale AS NOTED
Revision 	Sheet Number 

**A2.04**

Revision No.	Description	Date

Issue	Issue Date
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**STREETSCAPES**

Drawn By

Checked

CSB

LHW

Project Number

Scale

202354

AS NOTED

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Sheet Number

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**A3.00**



1 WEST ELEVATION  
SCALE = 1:200

2 EAST ELEVATION  
SCALE = 1:200

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Project

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WEST VANCOUVER  
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Sheet

Title **EAST ELEVATION**

Drawn By

Checked

CSB

LHW

Project Number

Scale

202354

AS NOTED

Revision

Sheet Number

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**A3.02**



1 EAST ELEVATION  
SCALE = 1:100

**MATERIALS LEGEND**

① VERTICAL WOOD SIDING DARK GREEN, BM = BACKWOODS 469	④ CONCRETE
② VERTICAL WOOD SIDING LIGHT GREEN, BM = CAMBRIDGE GREEN 468	⑦ GLASS RAILING
③ VERTICAL WOOD SIDING DARK BROWN, BM = CASPERO BROWN EX-67	⑧ VERTICAL WOOD SLATS
⑤ VERTICAL WOOD SIDING LIGHT BROWN, BM = STONE BROWN 2112-30	⑨ GLASS CATCHES WITH METAL FRAME BLACK
⑥ STANDING SEAM METAL ROOF LIGHT GREY	⑩ WINDOWS WITH METAL SURROUND BLACK

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Project  
**Gleneagles**  
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Sheet Title  
**SOUTH ELEVATION**

Drawn By	Checked
CSB	LHW
Project Number	Scale
202354	AS NOTED
Revision	Sheet Number

**A3.04**



1 SOUTH ELEVATION  
SCALE = 1:100

**MATERIALS LEGEND**

① VERTICAL WOOD SIDING DARK GREEN, BM = BACKWOODS 469	④ CONCRETE
② VERTICAL WOOD SIDING LIGHT GREEN, BM = CAMBRIDGE GREEN 468	⑦ GLASS RAILING
③ VERTICAL WOOD SIDING DARK BROWN, BM = CHEFORD BROWN EX-57	⑧ VERTICAL WOOD SLATS
⑤ VERTICAL WOOD SIDING LIGHT BROWN, BM = STONE BROWN 2112-30	⑨ GLASS CATCHES WITH METAL FRAME BLACK
⑥ STANDING SEAM METAL ROOF LIGHT GREY	⑩ WINDOWS WITH METAL SURROUND BLACK

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Sheet Title  
**MATERIALS**

Drawn By CSB	Checked LHW
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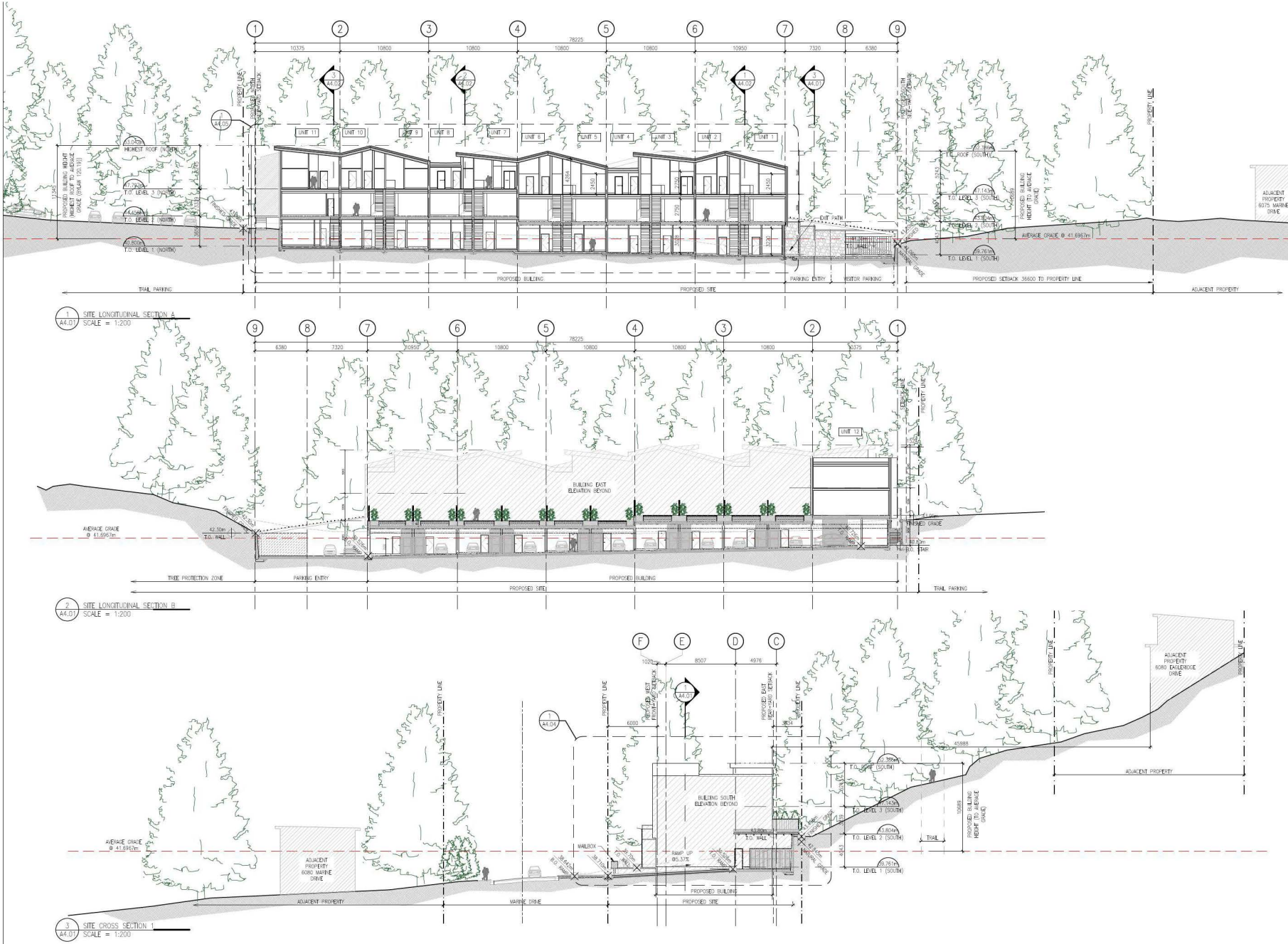


Project  
**Gleneagles**  
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Sheet Title  
**SITE LONGITUDINAL AND CROSS SECTIONS**

Drawn By	Checked
lw	LHW
Project Number	Scale
202354	AS NOTED
Revision	Sheet Number

**A4.01**



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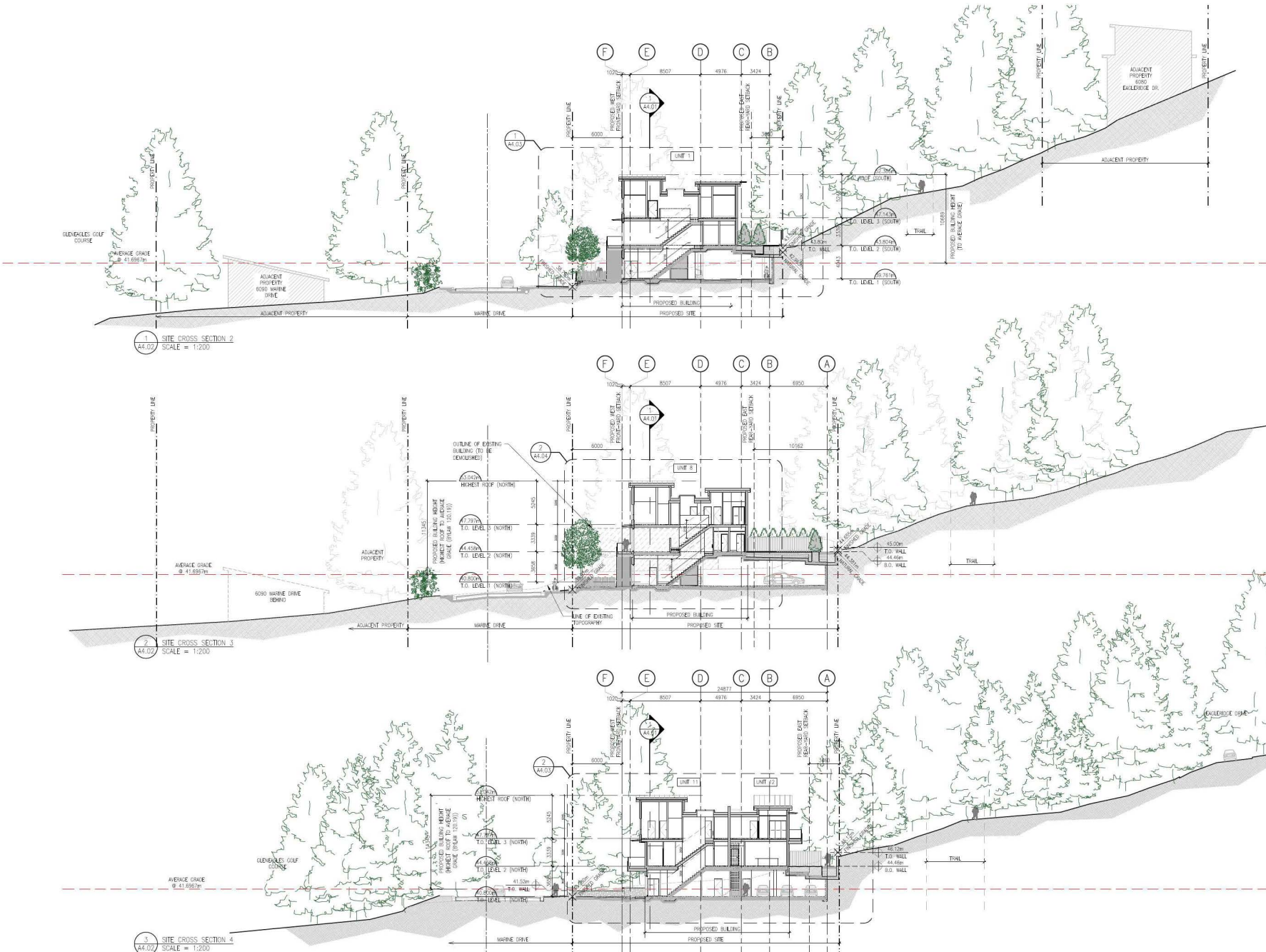


Project  
**Gleneagles**  
6085 & 6083 MARINE DRIVE  
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For  
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Sheet Title  
**SITE CROSS SECTIONS**

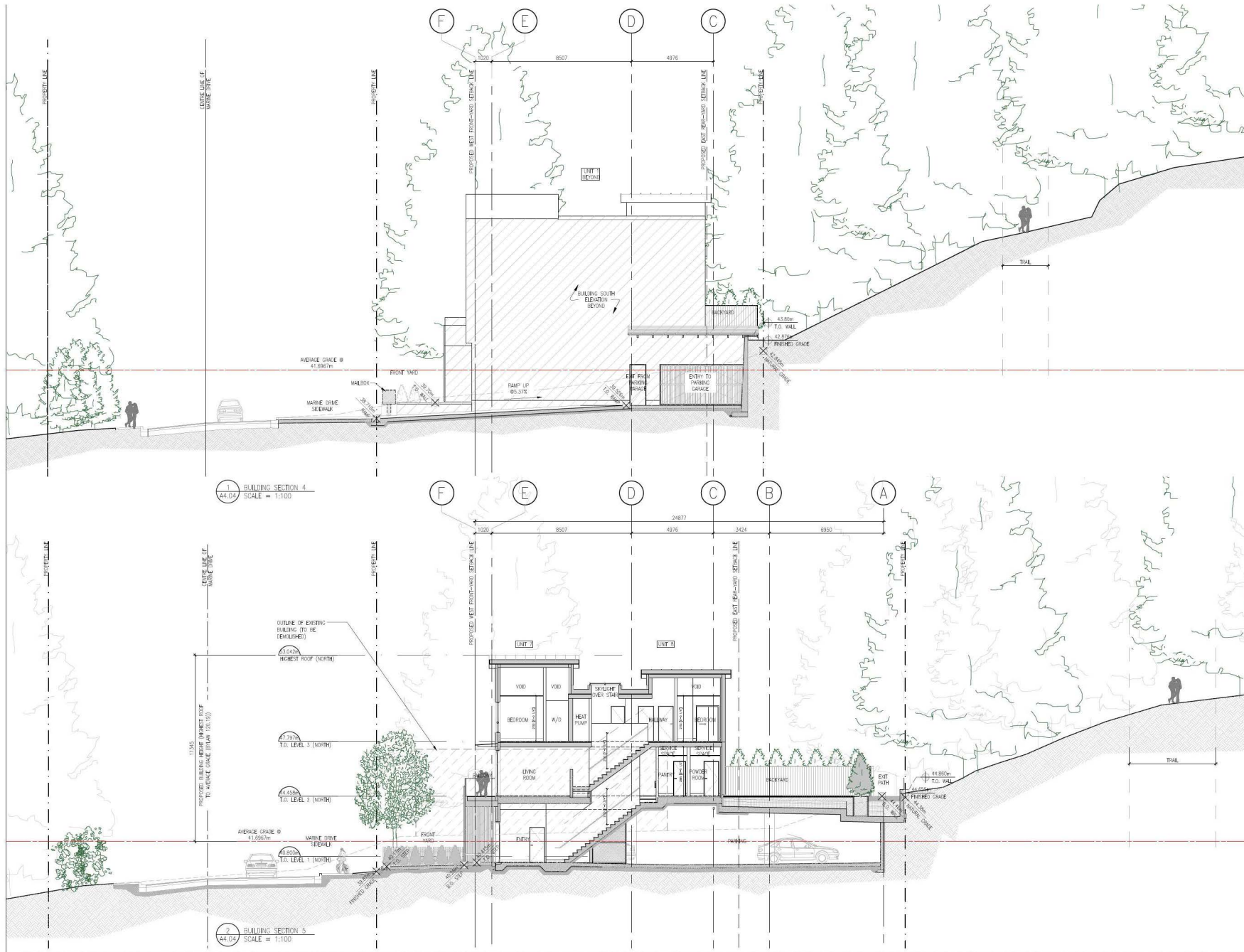
Drawn By	Checked
lw	LHW
Project Number	Scale
202354	AS NOTED
Revision	Sheet Number

**A4.02**



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1 BUILDING SECTION 4  
SCALE = 1:100

2 BUILDING SECTION 5  
SCALE = 1:100

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Sheet Title  
**BUILDING CROSS SECTIONS**

Drawn By	Checked
lw	LHW
Project Number	Scale
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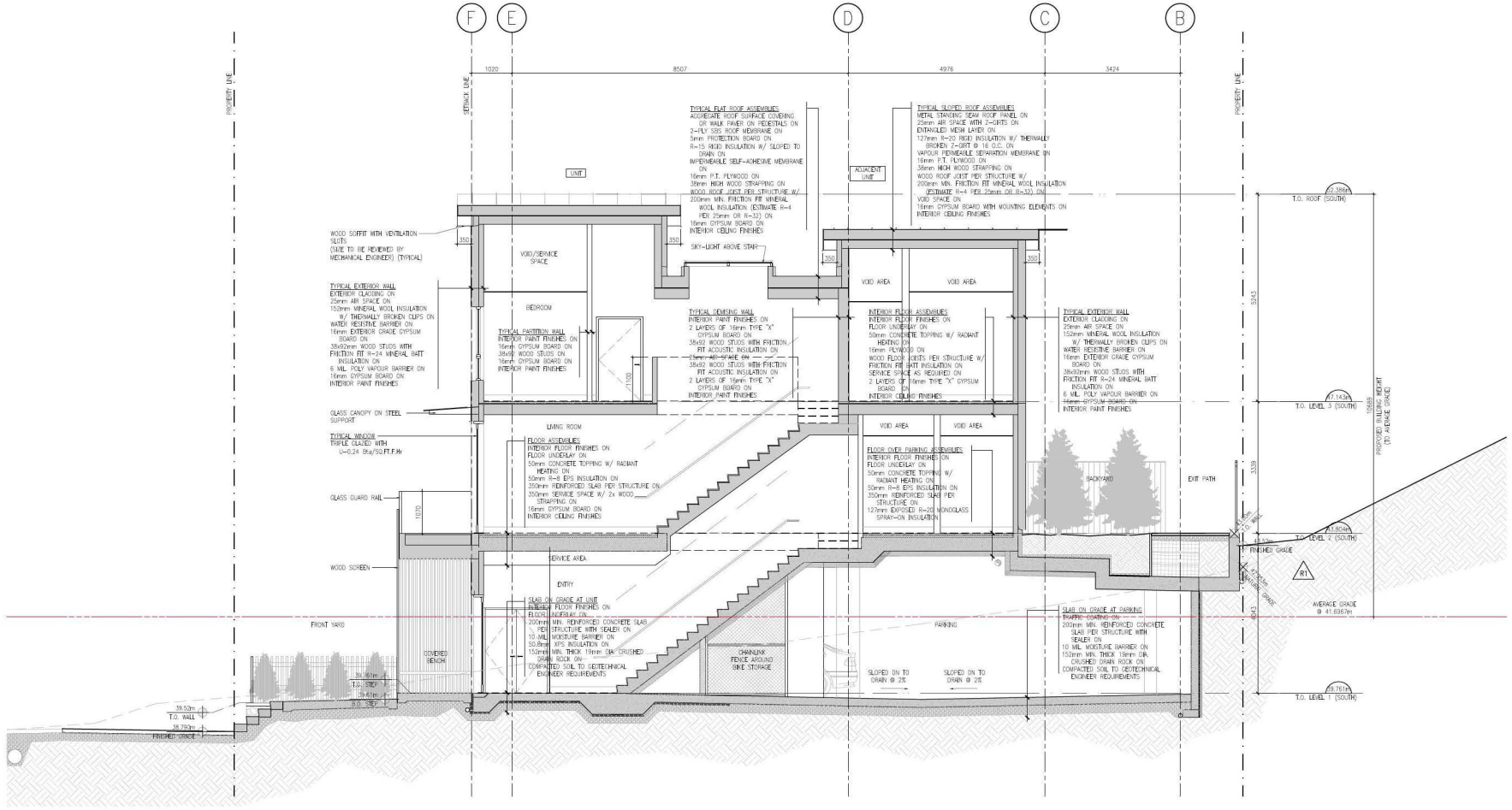


Project  
**Gleneagles**  
 6085 & 6083 MARINE DRIVE  
 WEST VANCOUVER  
 For  
 LPI MANAGEMENT LTD.

Sheet Title  
**ENLARGED BUILDING SECTION**

Drawn By	Checked
bw	LHW
Project Number	Scale
202354	AS NOTED
Revision	Sheet Number

**A4.06**



1 ENLARGED BUILDING SECTION  
 SCALE = 1:50

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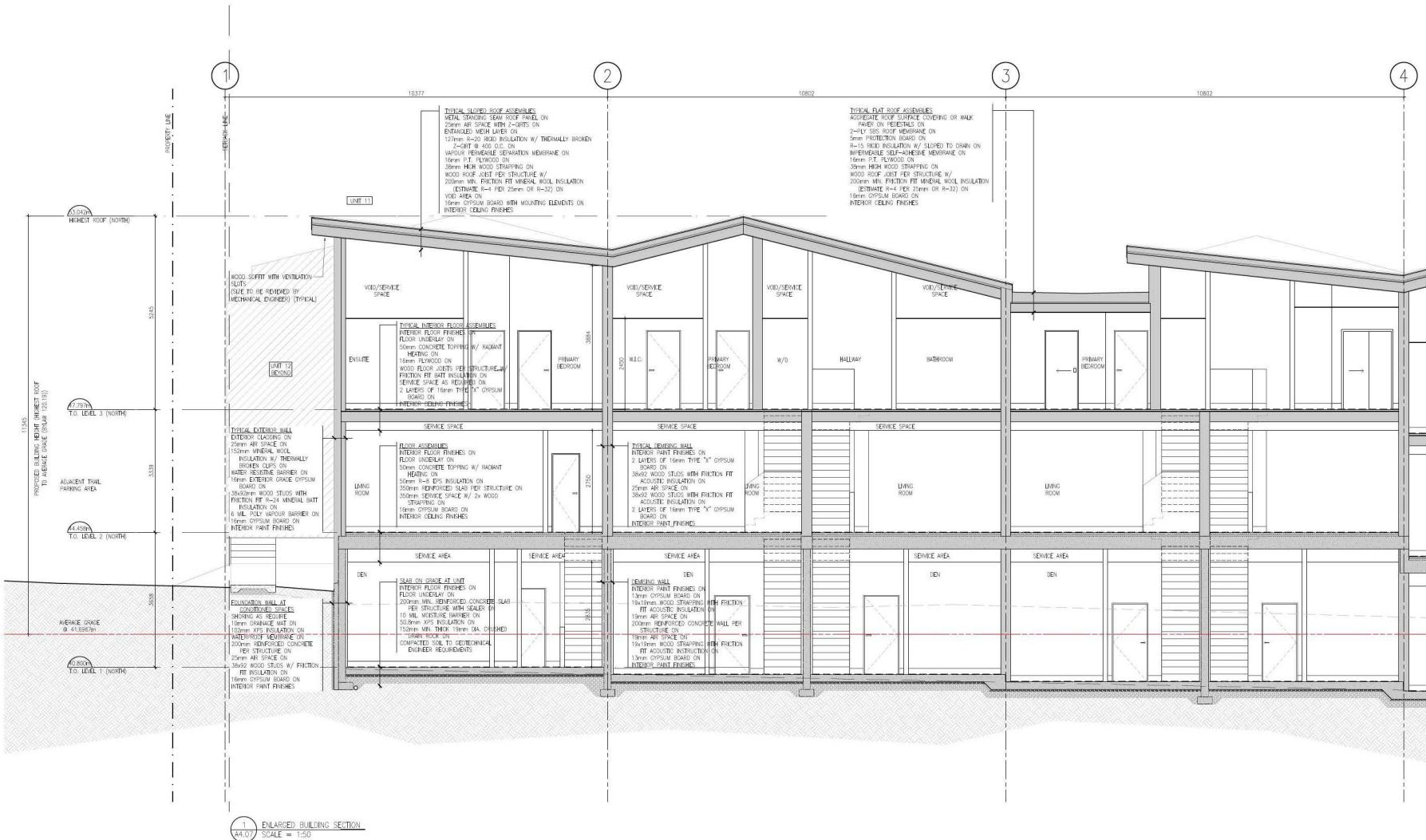


Project  
**Gleneagles**  
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Sheet Title  
**ENLARGED BUILDING SECTION**

Drawn By bw Checked LHW  
Project Number 202354 Scale AS NOTED  
Revision   Sheet Number  

**A4.07**



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1 SOUTH-WEST VIEW  
A5.01  
N/A



2 FRONT ENTRIES VIEW THROUGH MARINE DR.  
A5.01  
N/A

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**Gleneagles**  
6085 & 6083 MARINE DRIVE  
WEST VANCOUVER  
For  
LPI MANAGEMENT LTD.

Sheet

Title  
**RENDERINGS**

Drawn By	Checked
CSB	LHW
Project Number	Scale
202354	AS NOTED
Revision	Sheet Number
---	---

**A5.01**



1 NORTH - WEST VIEW  
A5.02 N/A



2 WEST ELEVATION NIGHT VIEW  
A5.02 N/A

**MERRICK**  
ARCHITECTURE

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T: 250.480.7811

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Revision No.	Description	Date
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Issue	Issue Date
ISSUED FOR DPV REZONING / OCP AMENDMENT	2025-01-28
RESUBMITTED FOR DP / REZONING / OCP AMENDMENT	2025-07-31
RE-ISSUE 2 FOR DP REZONING / OCP AMENDMENT	2025-12-09
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Consultant



Project

**Gleneagles**  
6085 & 6083 MARINE DRIVE  
WEST VANCOUVER  
For  
LPI MANAGEMENT LTD.

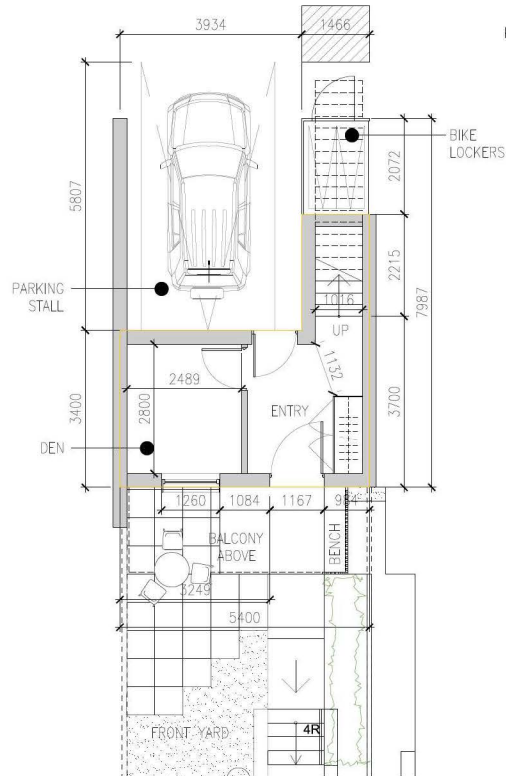
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Title  
**RENDERINGS**

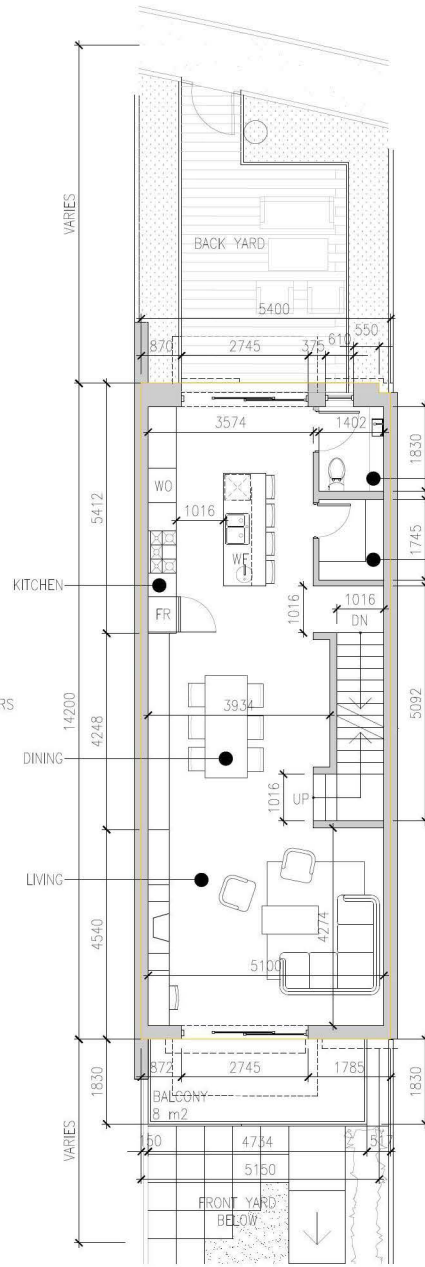
Drawn By CSB	Checked LHW
Project Number 202354	Scale AS NOTED
Revision ---	Sheet Number ---

**A5.02**

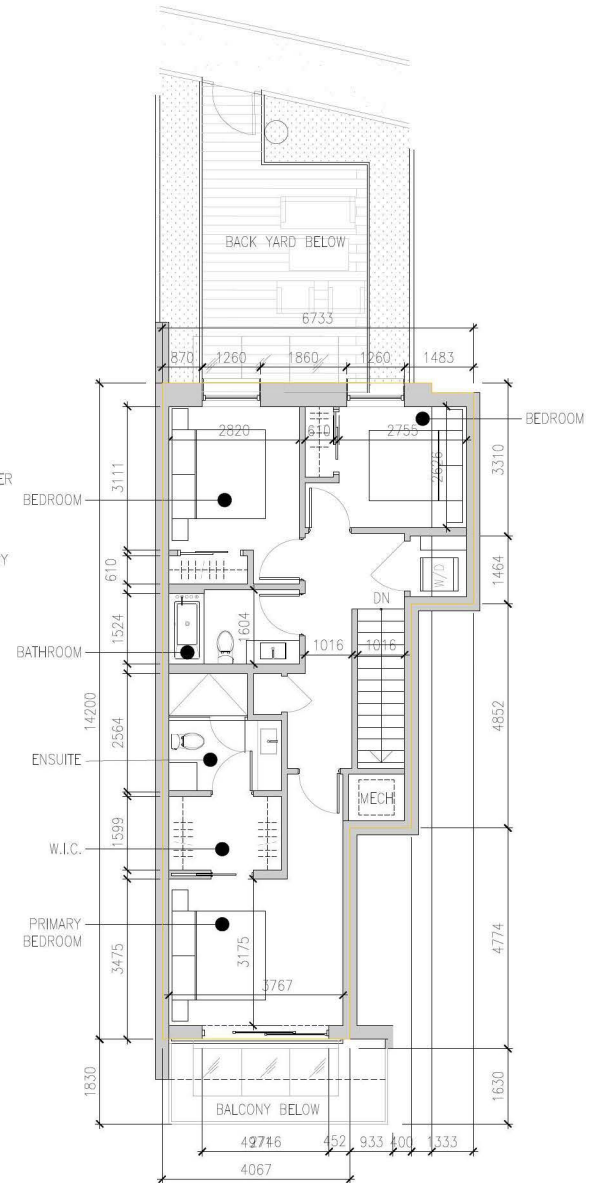
INTERLOCK A - UNIT STATS		
LEVEL P1	22.05 sq.m.	237.34 sq.ft.
LEVEL 1	76.63 sq.m.	815.58 sq.ft.
LEVEL 2	76.76 sq.m.	828.61 sq.ft.
TOTAL	175.44 sq.m.	1,888.42 sq.ft.



1 TH A - FIRST FLOOR  
SCALE = 1:50



2 TH A - SECOND FLOOR  
SCALE = 1:50



3 TH A - THIRD FLOOR  
SCALE = 1:50

Revision No.	Description	Date

Issue	Issue Date
ISSUED FOR DP/ REZONING / OCP AMENDMENT	2025-01-28
RESUBMITTED FOR DP / REZONING / OCP AMENDMENT	2025-07-31
RE-ISSUE 2 FOR DP REZONING / OCP AMENDMENT	2025-12-09

Consultant



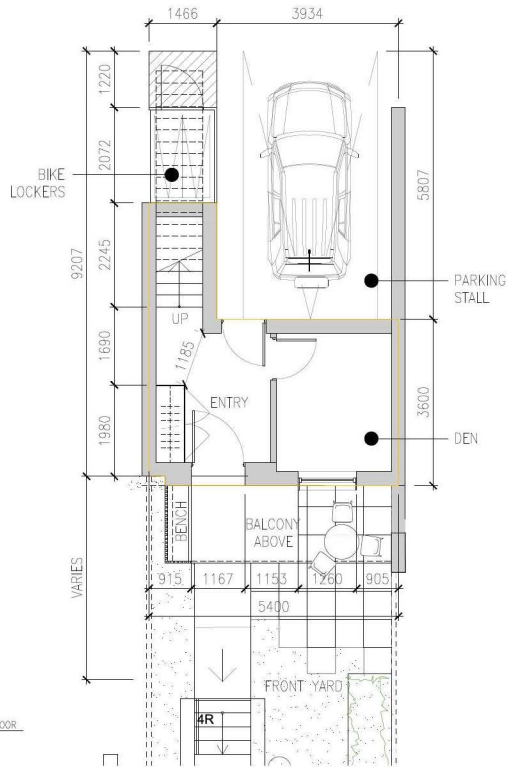
Project  
**Gleneagles**  
6085 & 6083 MARINE DRIVE  
WEST VANCOUVER  
For  
LPI MANAGEMENT LTD.

Sheet Title  
**UNIT PLANS - TH A**  
UNITS 4 & 8

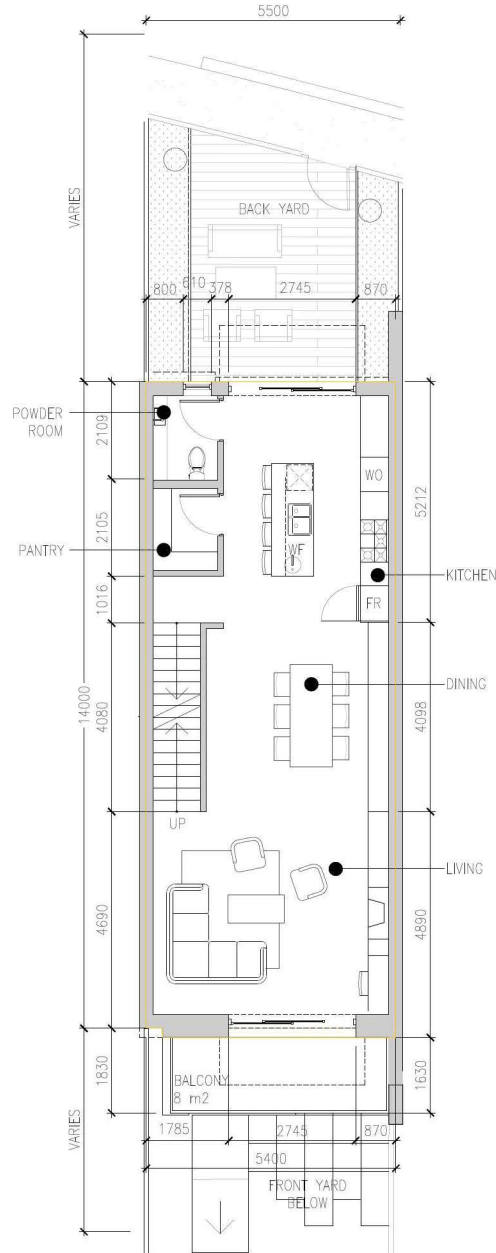
Drawn By CSB	Checked LHW
Project Number 202354	Scale AS NOTED
Revision ---	Sheet Number ---

A6.01

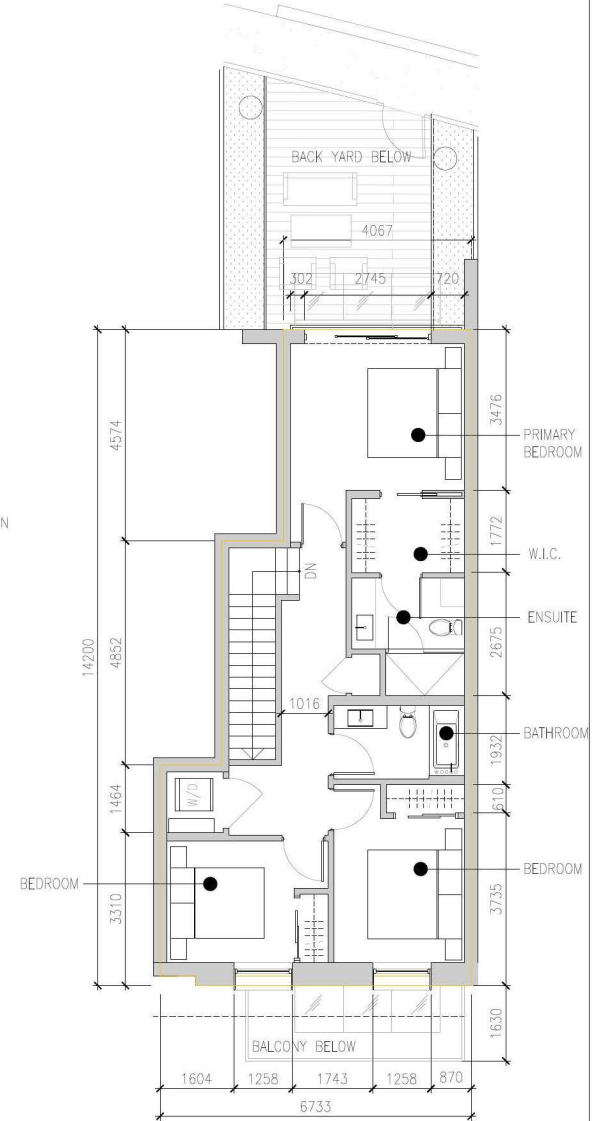
INTERLOCK B - UNIT STATS		
LEVEL P1	23.05 sq.m.	244.45 sq.ft.
LEVEL 1	76.61 sq.m.	815.58 sq.ft.
LEVEL 2	76.79 sq.m.	828.61 sq.ft.
TOTAL	176.45 sq.m.	1,899.29 sq.ft.



1 TH B - FIRST FLOOR  
SCALE = 1:50



2 TH B - SECOND FLOOR  
SCALE = 1:50



3 TH B - THIRD FLOOR  
SCALE = 1:50

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Revision No.	Description	Date

Issue	Issue Date
ISSUED FOR DPY REZONING / OCP AMENDMENT	2025-01-28
RESUBMITTED FOR DP / REZONING / OCP AMENDMENT	2025-07-31
RE-ISSUE 2 FOR DP REZONING / OCP AMENDMENT	2025-12-09

Consultant



Project

**Gleneagles**  
6085 & 6083 MARINE DRIVE  
WEST VANCOUVER  
For  
LPI MANAGEMENT LTD.

Sheet

**UNIT PLANS - TH B**  
UNITS 3 & 7

Drawn By

Checked

CSB

LHW

Project Number

Scale

202354

AS NOTED

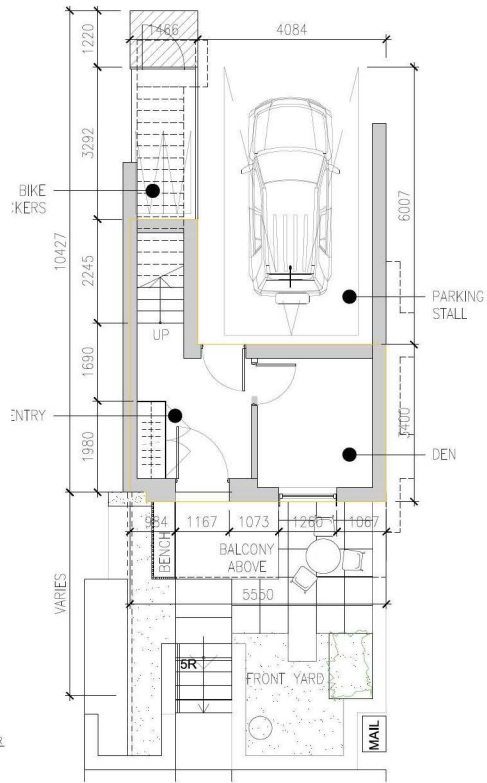
Revision

Sheet Number

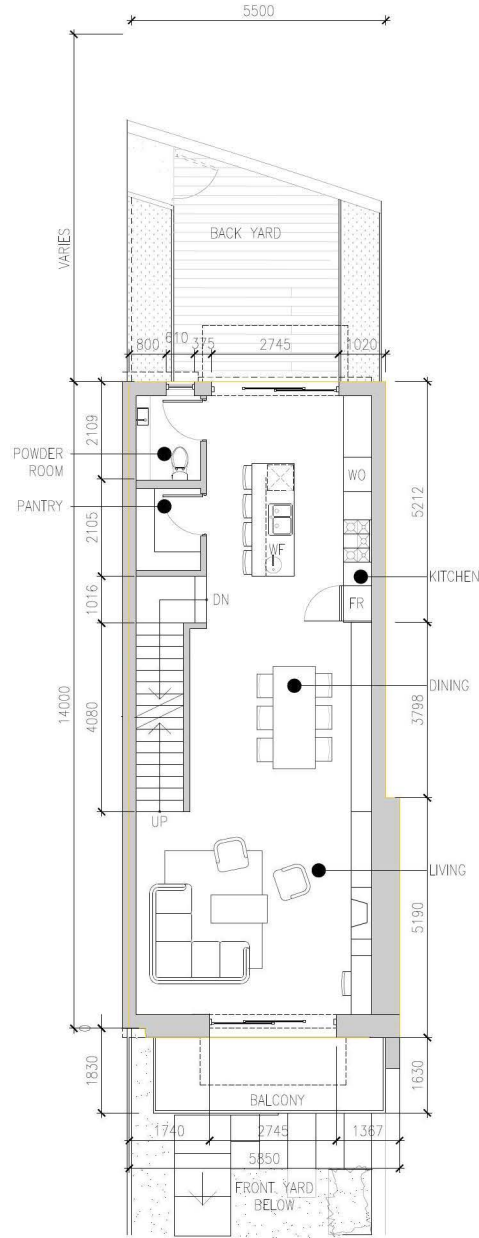
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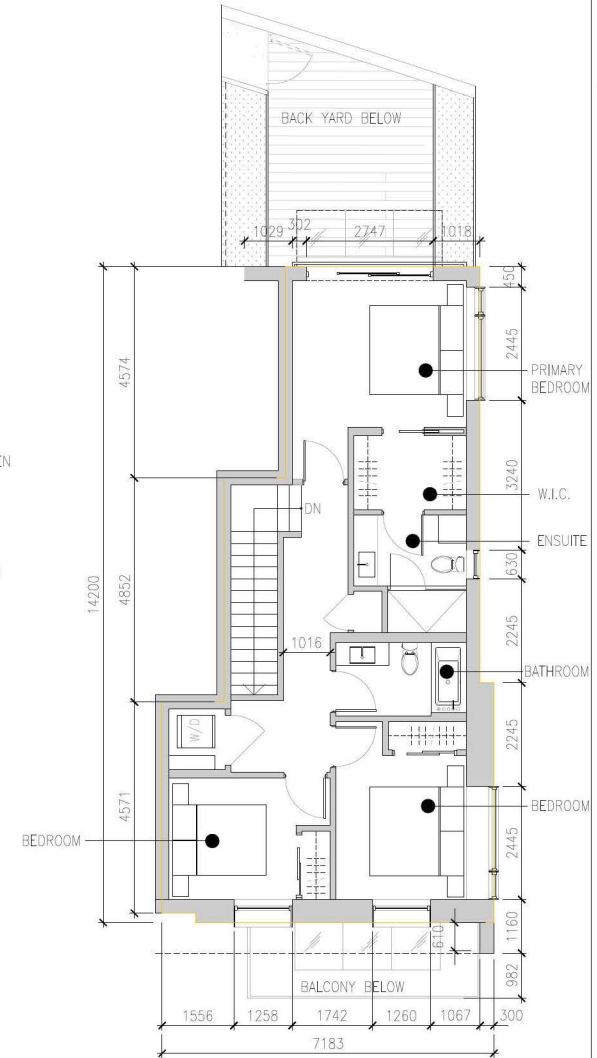
END INTERLOCK BE - UNIT STATS		
LEVEL P1	22.78 sq.m.	241.33 sq.ft.
LEVEL 1	80.30 sq.m.	854.44 sq.ft.
LEVEL 2	80.49 sq.m.	868.22 sq.ft.
TOTAL	183.57 sq.m.	1,975.99 sq.ft.



1 TH BE - FIRST FLOOR  
SCALE = 1:50



2 TH BE - SECOND FLOOR  
SCALE = 1:50



3 TH BE - THIRD FLOOR  
SCALE = 1:50

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Revision No.	Description	Date

Issue	Issue Date
ISSUED FOR DP1 REZONING / OCP AMENDMENT	2025-01-28
RESUBMITTED FOR DP1 / REZONING / OCP AMENDMENT	2025-07-31
RE-ISSUE 2 FOR DP1 REZONING / OCP AMENDMENT	2025-12-09

Consultant



Project  
**Gleneagles**  
6085 & 6083 MARINE DRIVE  
WEST VANCOUVER  
For  
LPI MANAGEMENT LTD.

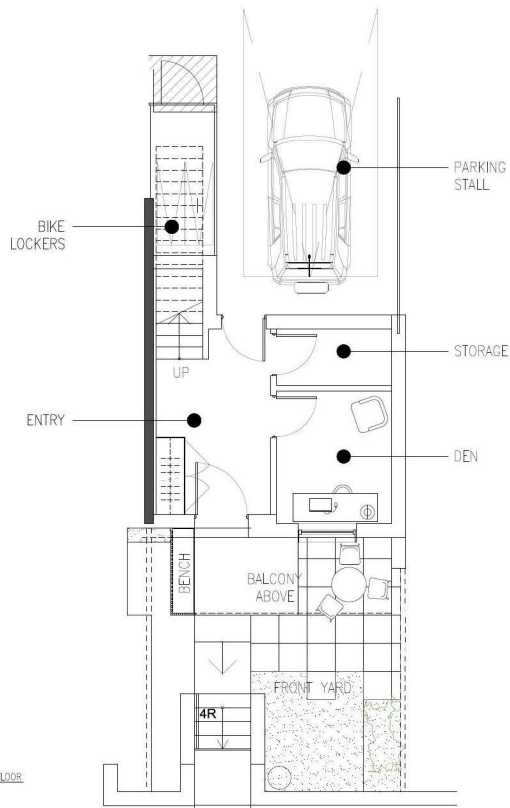
Sheet Title  
**UNIT PLANS - TH BE**  
UNIT 1

Drawn By	Checked
CSB	LHW
Project Number	Scale
202354	AS NOTED
Revision	Sheet Number

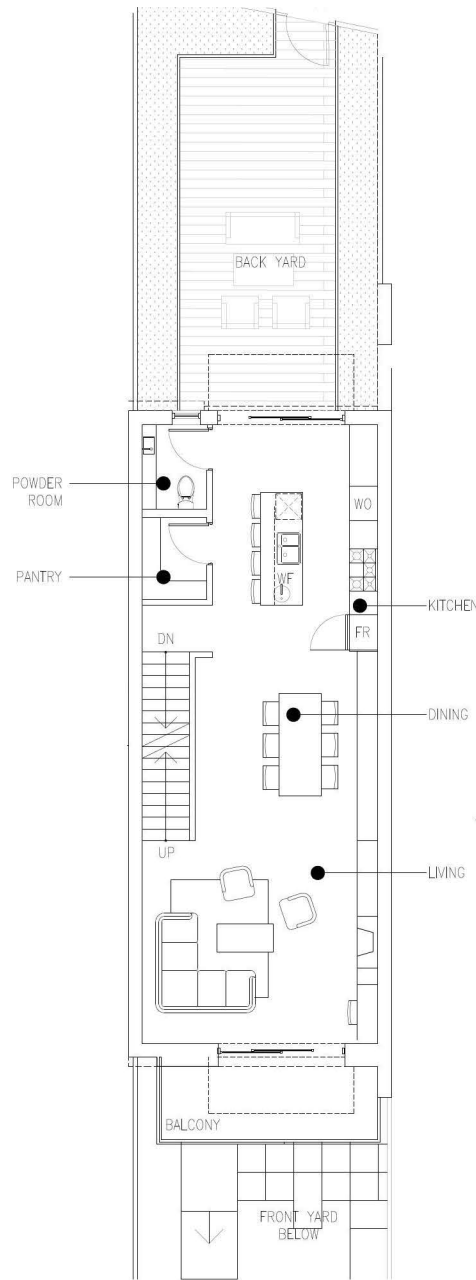
**A6.03**



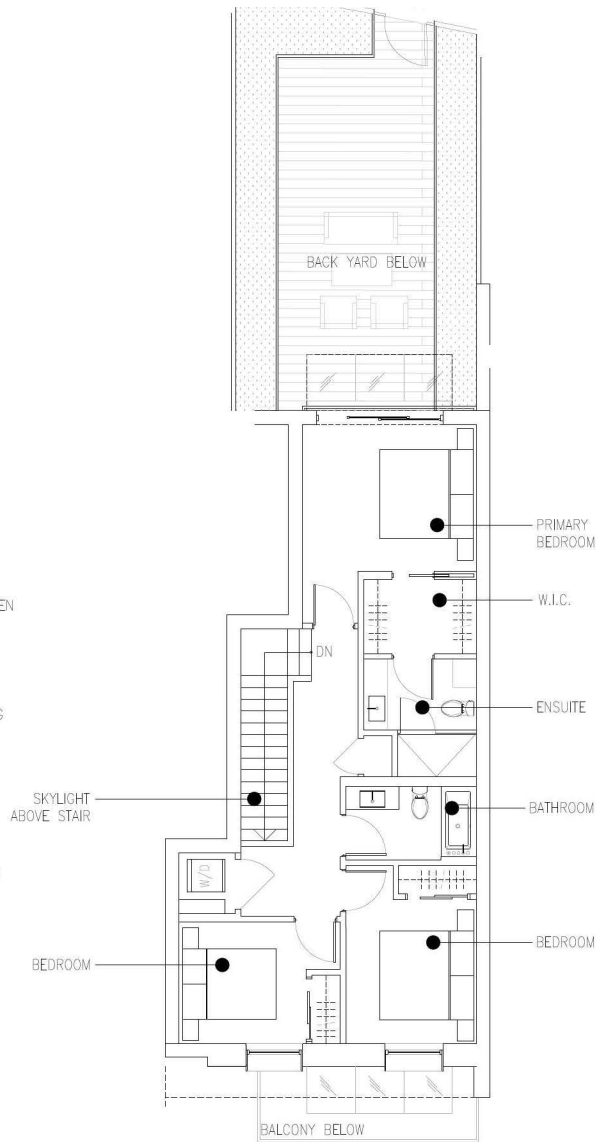
INTERLOCK B2 - UNIT STATS		
LEVEL P1	27.50 sq.m.	296.01 sq.ft.
LEVEL 1	76.58 sq.m.	815.58 sq.ft.
LEVEL 2	76.82 sq.m.	828.61 sq.ft.
TOTAL	180.9 sq.m.	1,947.19 sq.ft.



1 TH B2 - FIRST FLOOR  
SCALE = 1:50



2 TH B2 - SECOND FLOOR  
SCALE = 1:50



3 TH B2 - THIRD FLOOR  
SCALE = 1:50

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Revision No.	Description	Date

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ISSUED FOR DP / REZONING / OCP AMENDMENT	2025-01-28
RESUBMITTED FOR DP / REZONING / OCP AMENDMENT	2025-07-31
RE-ISSUE 2 FOR DP REZONING / OCP AMENDMENT	2025-12-09

Consultant



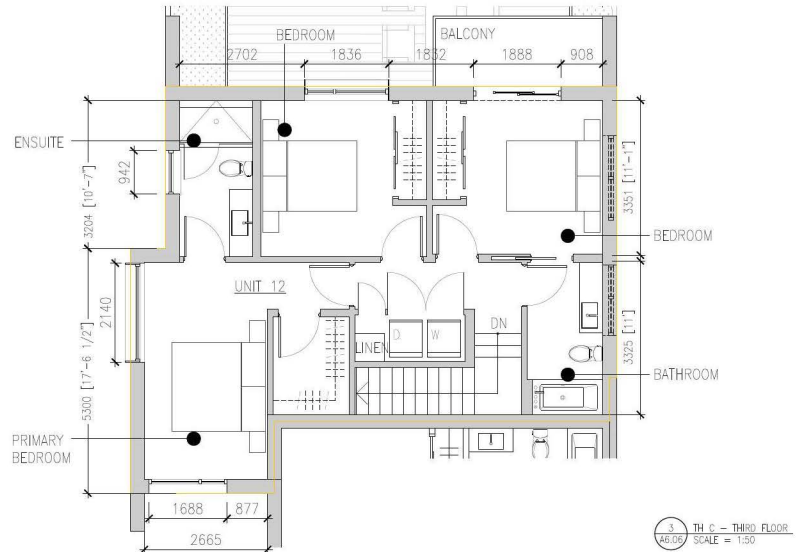
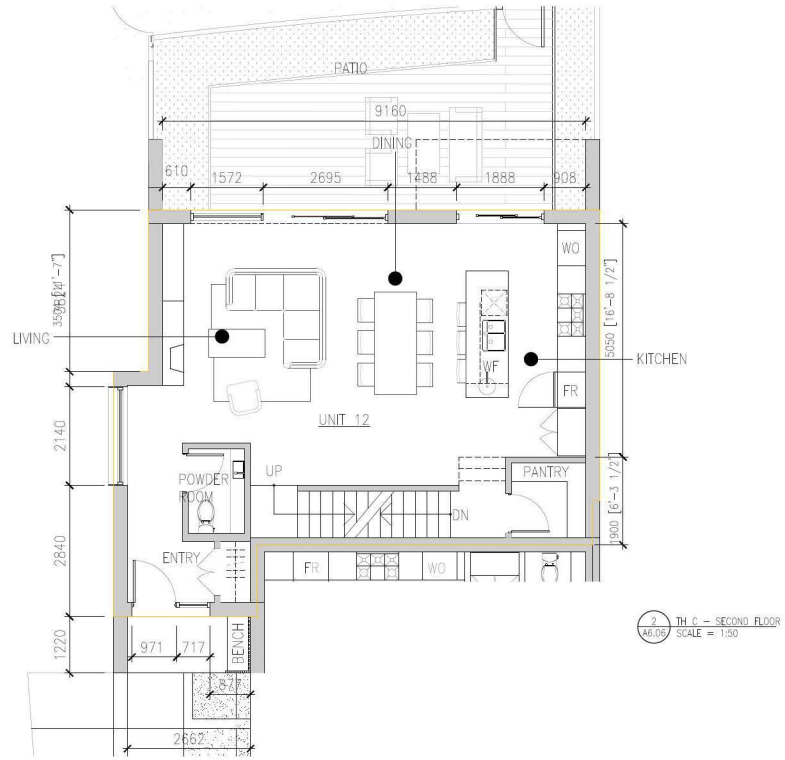
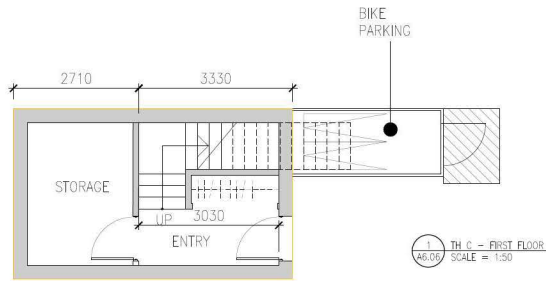
Project  
**Gleneagles**  
6085 & 6083 MARINE DRIVE  
WEST VANCOUVER  
For  
LPI MANAGEMENT LTD.

Sheet Title  
**UNIT PLANS - TH B2**  
UNITS 5 & 9

Drawn By	Checked
CSB	LHW
Project Number	Scale
202354	AS NOTED
Revision	Sheet Number

**A6.05**

TOWNHOME UNIT C		
	UNIT 12	
LEVEL P1	22.31 sq.m.	240.14 sq.ft.
LEVEL 1	78.31 sq.m.	842.92 sq.ft.
LEVEL 2	78.31 sq.m.	842.92 sq.ft.
TOTAL	178.93 sq.m.	1,925.99 sq.ft.



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Revision No.	Description	Date

Issue	Issue Date
ISSUED FOR DP / REZONING / OCP AMENDMENT	2025-01-28
RESUBMITTED FOR DP / REZONING / OCP AMENDMENT	2025-07-31
RE-ISSUE 2 FOR DP REZONING / OCP AMENDMENT	2025-12-09

Consultant



Project

**Gleneagles**  
6085 & 6083 MARINE DRIVE  
WEST VANCOUVER  
For  
LPI MANAGEMENT LTD.

Sheet

**UNIT PLANS - TH C**  
UNIT 12

Drawn By

Checked

CSB

LHW

Project Number

Scale

202354

AS NOTED

Revision

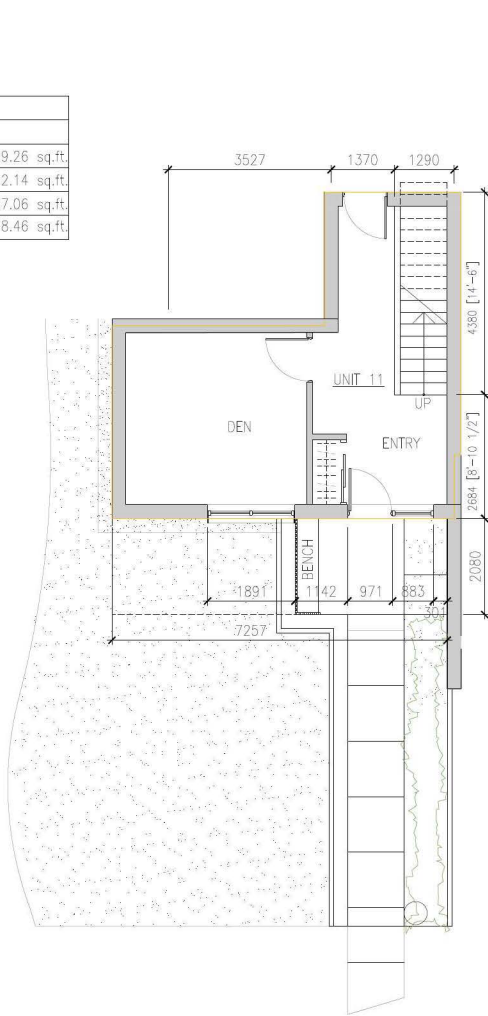
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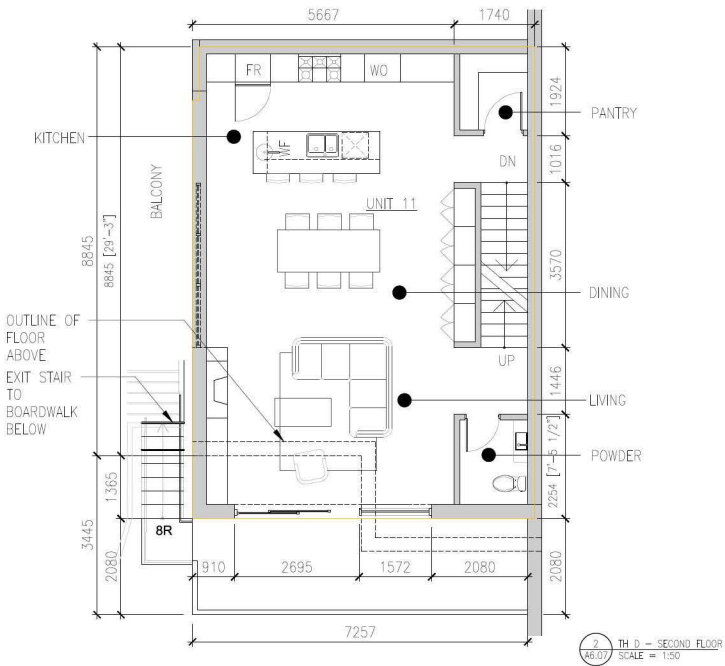
**A6.06**

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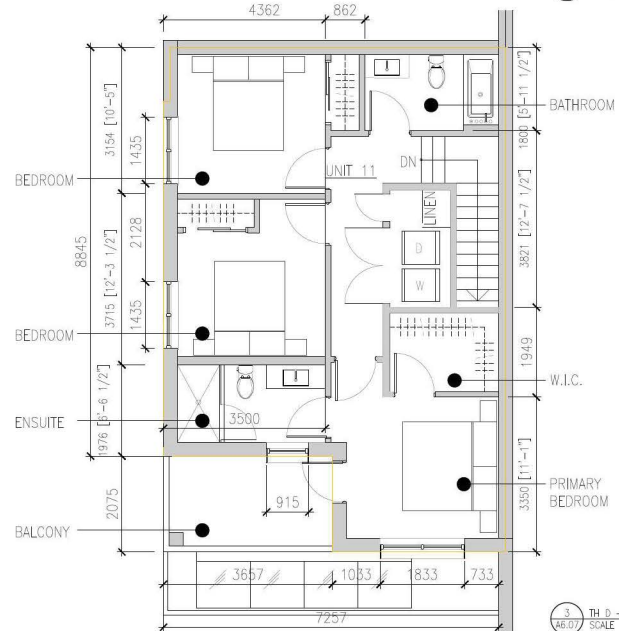
TOWNHOME UNIT D		
	UNIT 11	
LEVEL P1	39.88 sq.m.	429.26 sq.ft.
LEVEL 1	75.45 sq.m.	812.14 sq.ft.
LEVEL 2	73.12 sq.m.	787.06 sq.ft.
TOTAL	188.45 sq.m.	2,028.46 sq.ft.



1 TH D - FIRST FLOOR  
SCALE = 1:50



2 TH D - SECOND FLOOR  
SCALE = 1:50



3 TH D - THIRD FLOOR  
SCALE = 1:50

Revision No.	Description	Date

Issue	Issue Date
ISSUED FOR DP/ REZONING / OCP AMENDMENT	2025-01-28
RESUBMITTED FOR DP / REZONING / OCP AMENDMENT	2025-07-31
RE-ISSUE 2 FOR DP	2025-12-09
RE-ISSUE / OCP AMENDMENT	

Consultant



Project

**Gleneagles**  
6085 & 6083 MARINE DRIVE  
WEST VANCOUVER  
For  
LPI MANAGEMENT LTD.

Sheet

Title  
**UNIT PLANS - TH D**  
UNIT 11

Drawn By	Checked
CSB	LHW
Project Number	Scale
202354	AS NOTED
Revision	Sheet Number

# DP 25-012 Schedule B



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Issues	No.	Description	Date
	1	Issued for DR/Resolving/OCP Amendment	2025-01-28
	2	Re-issued for DP / Resolving / OCP Amendment	2025-07-31
	3	Re-issued 2 for DP / Resolving / OCP Amendment	2025-12-09



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Client:  
**LPI Management Ltd.**

Project Title:  
**Gleneagles**  
6085 & 6063 MARINE DRIVE  
WEST VANCOUVER, BC

Drawing Title:  
**Overall Context Plan**

Project North: Drawn By: **KC**  
Checked By: **TH/MP**  
Scale: **1:200** Job No.: **24-016**  
Sheet No.:

**L0.0**

Plot date: 2025-12-09

Issues	No.	Description	Date
	1	Issued for OCP / Rezoning / OCP Amendment	2025-01-28
	2	Re-issued for OCP / Rezoning / OCP Amendment	2025-07-31
	3	Re-issued 2 for OCP / Rezoning / OCP Amendment	2025-12-09



**LEGEND:**

- 1 CIP CONCRETE SIDEWALK
- 2 CONCRETE STOOP
- 3 HYDRAPRESSED SLABS
- 4 GRAVEL WALKWAYS
- 5 COMPOSITE WOOD DECKING
- 6 BOARDWALK
- 7 ROMAN STAIR TREADS
- 8 GATE
- 9 6' REAR YARD PRIVACY FENCE
- 10 FRONT YARD 3'-6" FENCE
- 11 GRANITE FACED RETAINING WALL
- 12 CONCRETE RETAINING WALL
- 13 FEATURE SHOTCRETE WALL
- 14 FURNITURE FOR ILLUSTRATION ONLY
- 15 TREE PROTECTION FENCE

**MATERIAL LEGEND:**

- CIP CONCRETE PAVING
- HYDRAPRESSED SLABS
- GRAVEL PATHWAY
- PLANTING
- HEDGING
- EXISTING BYLAW TREES TO BE RETAINED PER ARBORIST REPORT
- CRITICAL ROOT ZONE OF EXISTING TREES
- PROPOSED TREES

**PRIVATE OUTDOOR SPACE:**  
NOTE: ABOVE GRADE BALCONIES ARE NOT INCLUDED IN AREAS SHOWN.

UNIT	FRONT YARD	BACKYARD	TOTAL
UNIT 1	23 m <sup>2</sup>	23 m <sup>2</sup>	46 m <sup>2</sup>
UNIT 2	23 m <sup>2</sup>	25 m <sup>2</sup>	48 m <sup>2</sup>
UNIT 3	31 m <sup>2</sup>	27 m <sup>2</sup>	58 m <sup>2</sup>
UNIT 4	31 m <sup>2</sup>	34 m <sup>2</sup>	65 m <sup>2</sup>
UNIT 5	26 m <sup>2</sup>	45 m <sup>2</sup>	71 m <sup>2</sup>
UNIT 6	27 m <sup>2</sup>	51 m <sup>2</sup>	78 m <sup>2</sup>
UNIT 7	32 m <sup>2</sup>	50 m <sup>2</sup>	82 m <sup>2</sup>
UNIT 8	33 m <sup>2</sup>	51 m <sup>2</sup>	84 m <sup>2</sup>
UNIT 9	32 m <sup>2</sup>	56 m <sup>2</sup>	88 m <sup>2</sup>
UNIT 10	32 m <sup>2</sup>	57 m <sup>2</sup>	89 m <sup>2</sup>
UNIT 11	12 m <sup>2</sup>	N/A	21 m <sup>2</sup>
UNIT 12	N/A	40 m <sup>2</sup>	40 m <sup>2</sup>

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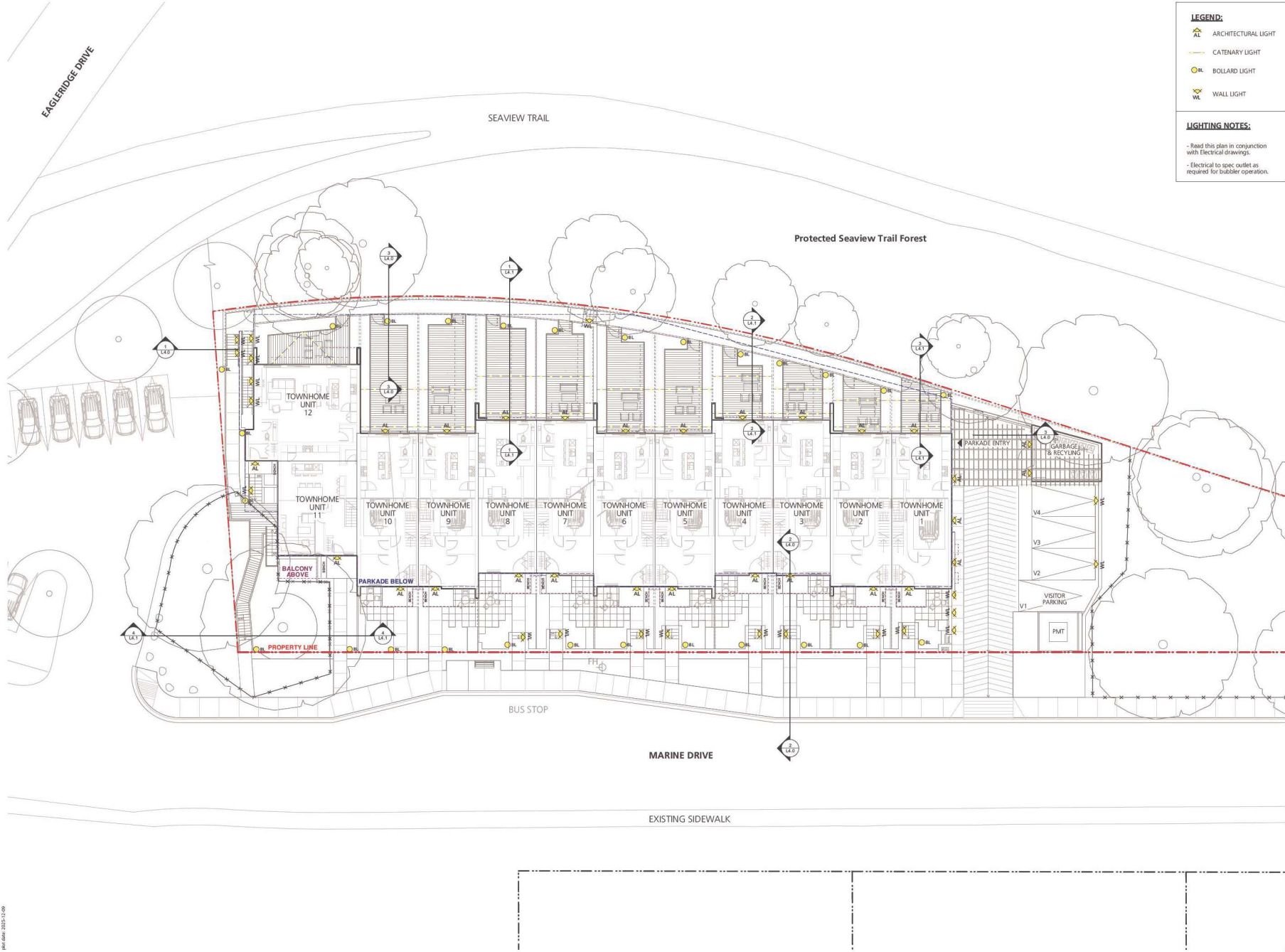
Client:  
**LPI Management Ltd.**

Project Title:  
**Gleneagles**  
6065 & 6060 Marine Drive  
West Vancouver, BC

Drawing Title:  
**Landscape Plan**

Project North: Drawn By: **KC**  
Checked By: **TH/MP**  
Scale: **1:150** Job No.: **24-016**  
Sheet No.:

**L1.0**



**LEGEND:**

- ARCHITECTURAL LIGHT
- CATENARY LIGHT
- BOLLARD LIGHT
- WALL LIGHT

**LIGHTING NOTES:**

- Read this plan in conjunction with Electrical drawings.
- Electrical to spec outlet as required for bubbler operation.

Issues

No.	Description	Date
1	Issued for DP / Rezoning / OCP Amendment	2025-01-28
2	Re-issued for DP / Rezoning / OCP Amendment	2025-07-31
3	Re-issued 2 for DP / Rezoning / OCP Amendment	2025-12-09

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Client:  
**LPI Management Ltd.**

Project Title:  
**Gleneagles**  
 6085 & 6083 MARINE DRIVE  
 WEST VANCOUVER, BC





Drawing Title:  
**Schematic Lighting Coordination Plan**

Project North: Drawn By: **KC**  
 Checked By: **TH/MP**  
 Scale: **1:150** Job No.: **24-016**  
 Sheet No.:

**L1.1**

Issues	No.	Description	Date
	1	Issued for DP / Rezoning / OCP Amendment	2025-01-28
	2	Re-issued for DP / Rezoning / OCP Amendment	2025-07-31
	3	Re-issued 2 for DP / Rezoning / OCP Amendment	2025-12-09

**LEGEND**

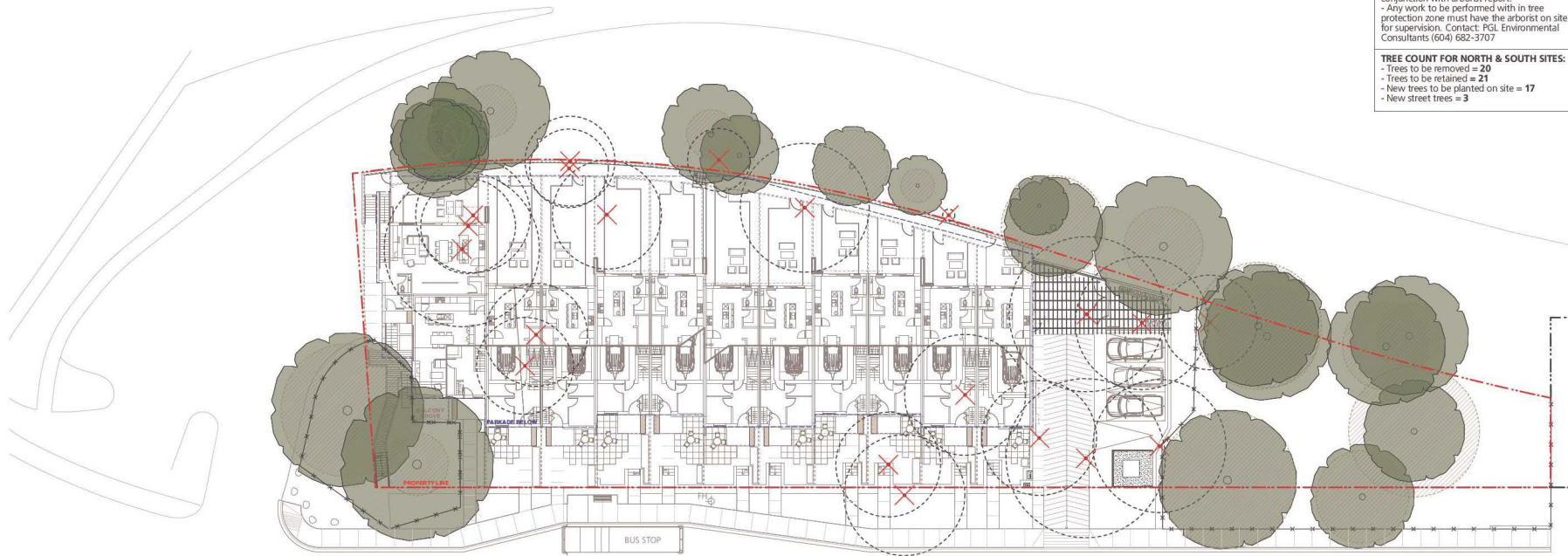
-  Existing tree to be retained
-  Critical Root Zone (CRZ) as per arborist report
-  Existing tree to be removed
-  Tree protection barrier as per arborist report

**NOTES**

- Tree management plan is to be read in conjunction with arborist report.
- Any work to be performed within tree protection zone must have the arborist on site for supervision. Contact PGL Environmental Consultants (604) 682-3707

**TREE COUNT FOR NORTH & SOUTH SITES:**

- Trees to be removed = **20**
- Trees to be retained = **21**
- New trees to be planted on site = **17**
- New street trees = **3**




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Client:  
**LPI Management Ltd.**

Project Title:  
Gleneagles

Drawing Title:  
Tree Management Plan

Project North:  Drawn By: KC  
Checked By: TH/MP  
Scale: 1:150 Job No.: 24-016  
Sheet No.:

**L1.2**

EAGLERIDGE DRIVE

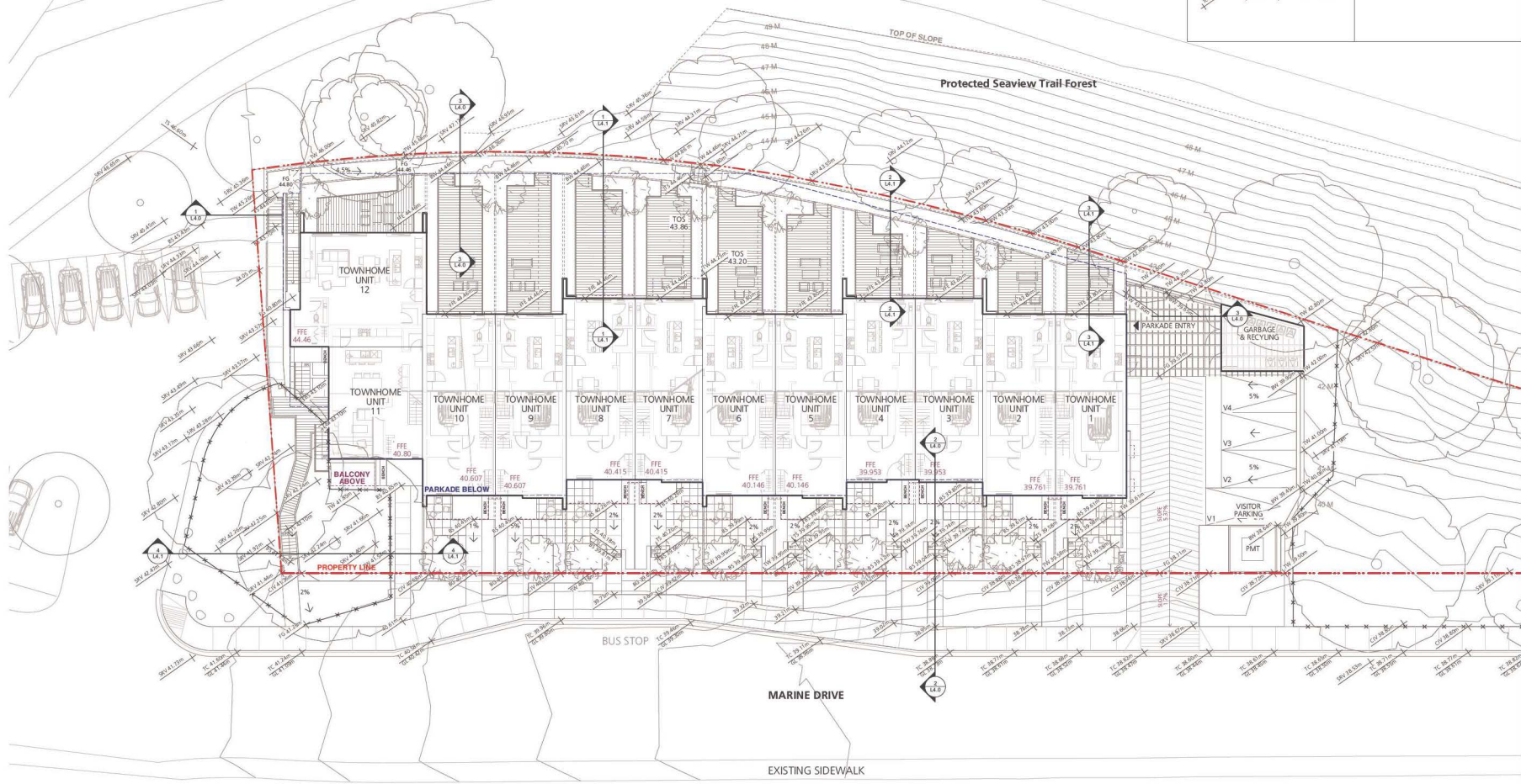
SEAVIEW TRAIL

LEGEND		GRADING NOTES	
	Proposed Grade from Civil	1.	Ensure hard surfaces are sloped to drain away from buildings.
	Grade from Survey	2.	Ensure topsoil slopes and drains away from buildings.
	Proposed Finish Grade	3.	Soft landscape finished grade to be min. 200mm below any finished building elevations.
	Proposed Top of Wall Grade	4.	Contractor to report any grading discrepancies to consultant.
	Proposed Bottom of Wall Grade	5.	Refer to Civil drawings for offsite grading.
	Proposed Top of Stairs Grade		
	Proposed Bottom of Stairs Grade		
	Proposed Top of Curb Grade		



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Issues	No.	Description	Date
	1	Issued for DP / Rezoning / OCP Amendment	2025-01-28
	2	Re-issued for DP / Rezoning / OCP Amendment	2025-07-31
	3	Re-issued 2 for DP / Rezoning / OCP Amendment	2025-12-09



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Client:  
**LPI Management Ltd.**

Project Title:  
**Gleneagles**  
6065 & 6060 Marine Drive  
West Vancouver, BC

Drawing Title:  
**Landscape Grading Plan**

Project North: Drawn By: **KC**  
Checked By: **TH/MP**  
Scale: **1:150** Job No.: **24-016**  
Sheet No.:

**L2.0**

EAGLERIDGE DRIVE

SEAVIEW TRAIL

Protected Seaview Trail Forest

BUS STOP

MARINE DRIVE

EXISTING SIDEWALK

**LEGEND:**  
SOIL DEPTH

- Min. 0.6m
- Min. 1.0m



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Issues

No.	Description	Date
1	Issued for DP / Rezoning / OCP Amendment	2025-01-28
2	Re-issued for DP / Rezoning / OCP Amendment	2025-07-31
3	Re-issued for DP / Rezoning / OCP Amendment	2025-12-09



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Client:  
**LPI Management Ltd.**

Project Title:  
Gleneagles

Drawing Title:  
Soil Volume Plan

Project North: Drawn By: KC  
Checked By: TH/MP  
Scale: 1:150 Job No.: 24-016  
Sheet No.:

L2.1

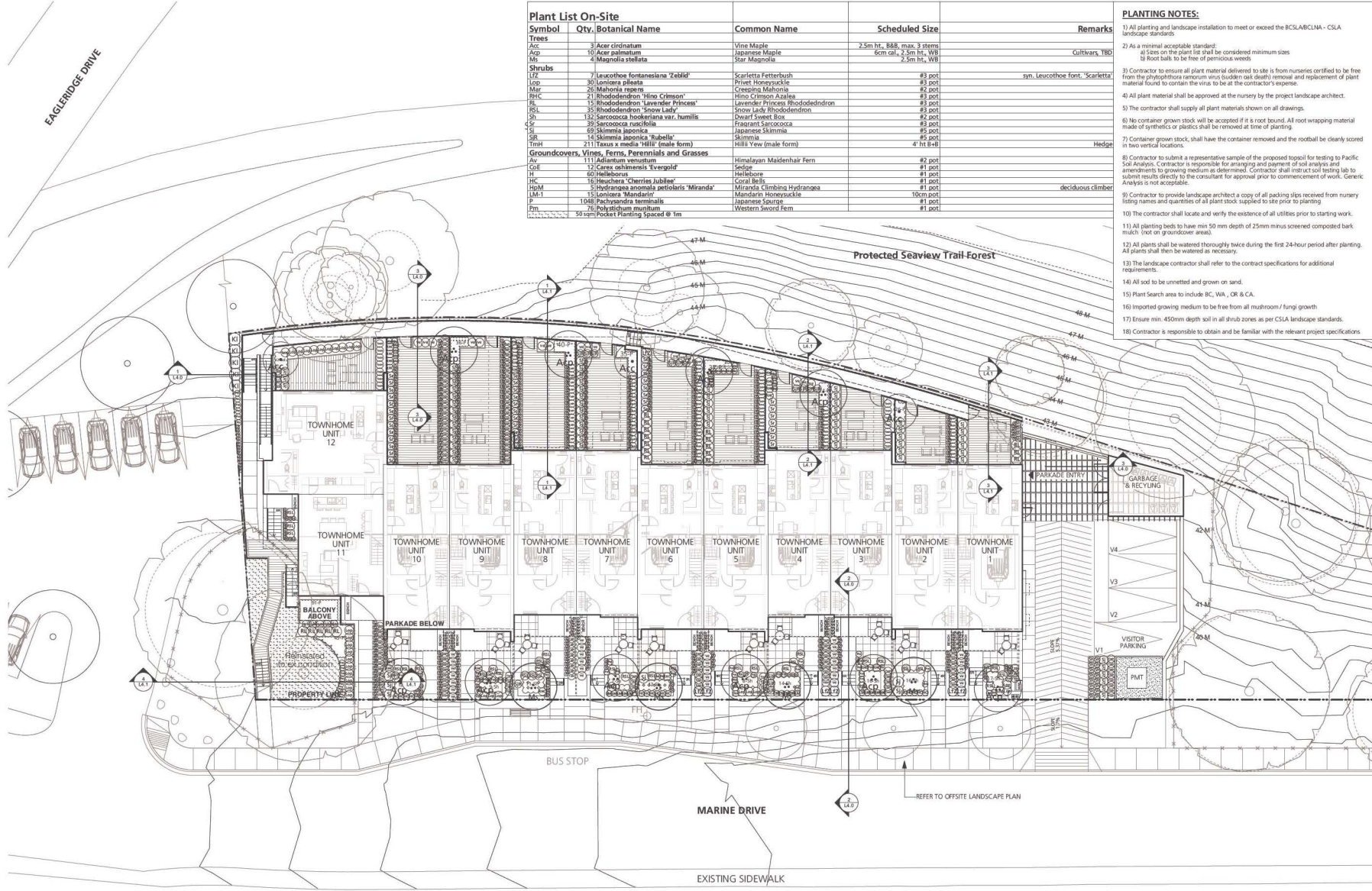
P:\01-2025\12-09

Plant List On-Site				
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size
<b>Trees</b>				
Acc	3	<i>Acer circinatum</i>	Vine Maple	2.5m ht., 8.8", max. 3 stems
Asp	10	<i>Acer palmatum</i>	Japanese Maple	6cm cal., 2.5m ht., W8
Ms	4	<i>Magnolia stellata</i>	Star Magnolia	
<b>Shrubs</b>				
LZ	7	<i>Leucothoe fontanesiana 'Zelkii'</i>	Scarletta Fetterbush	#3 pot
Lop	30	<i>Lonicera pileata</i>	Privet Honeyuckle	#3 pot
Mir	26	<i>Morita japonica</i>	Cresting Malinka	#2 pot
RHC	21	<i>Rhododendron 'Hino Crimson'</i>	Hino Crimson Azalea	#3 pot
RL	15	<i>Rhododendron 'Lavender Princess'</i>	Lavender Princess Rhododendron	#3 pot
PSL	35	<i>Rhododendron 'Snow Lady'</i>	Snow Lady Rhododendron	#3 pot
Sh	132	<i>Sarcococca hookeriana var. humilis</i>	Dwarf Sweet Box	#2 pot
Sc	39	<i>Sarcococca nuscicola</i>	Fraserian Sarcococca	#3 pot
Sk	69	<i>Skimmia japonica</i>	Japanese Skimmia	#5 pot
SR	14	<i>Skimmia japonica 'Rubella'</i>	Skimmia	#5 pot
TmH	211	<i>Taxus x media 'Hilli'</i> (male form)	Hilli Yew (male form)	4" ht B+8
<b>Groundcovers, Vines, Ferns, Perennials and Grasses</b>				
Av	111	<i>Adiantum venustum</i>	Himalayan Maidenhair Fern	#2 pot
GE	12	<i>Carex oshimensis 'Evergold'</i>	Seiage	#1 pot
H	60	<i>Helleborus</i>	Hellebore	#1 pot
HC	16	<i>Heuchera 'Cherries Jubilee'</i>	Coral Bell	#1 pot
HdM	3	<i>Hydrangea anomala petiolaris 'Miranda'</i>	Miranda Climbing Hydrangea	#1 pot
LM-1	15	<i>Lonicera 'Mandarin'</i>	Mandarin Honeyuckle	10cm pot
P	1948	<i>Pachysandra terminalis</i>	Japanese Spurge	#1 pot
Pm	76	<i>Polystichum muratum</i>	Western Sword Fern	#1 pot
50 sqm Pocket Planting Spaced @ 1m				

- PLANTING NOTES:**
- All planting and landscape installation to meet or exceed the BCSLA/BCSLA - CSLA landscape standards.
  - As a minimal acceptable standard:
    - a) Size on the plant list shall be considered minimum size
    - b) Root balls to be free of pernicious weeds
  - Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the phytoplasma *anemum sinus (udden oak death)* removal and replacement of plant material found to contain the virus to be at the contractor's expense.
  - All plant material shall be approved at the nursery by the project landscape architect.
  - The contractor shall supply all plant materials shown on all drawings.
  - No container grown stock will be accepted if it is root bound. All root wrapping material made of synthetics or plastics shall be removed at time of planting.
  - Container grown stock, shall have the container removed and the rootball be clearly scored in two vertical locations.
  - Contractor to submit a representative sample of the proposed topsoil for testing to Pacific Soil Analysis. Contractor is responsible for arranging and payment of soil analysis and amendments to growing medium as determined. Contractor shall not start soil testing lab to submit results directly to the consultant for approval prior to commencement of work. Generic Analysis is not acceptable.
  - Contractor to provide landscape architect a copy of all packing slips received from nursery listing names and quantities of all plant stock supplied to site prior to planting.
  - The contractor shall locate and verify the existence of all utilities prior to starting work.
  - All planting beds to have min 50 mm depth of 25mm minus screened composted bark mulch (not on groundcover areas).
  - All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary.
  - The landscape contractor shall refer to the contract specifications for additional requirements.
  - All soil to be unmetted and grown on sand.
  - Plant Search area to include BC, WA, OR & CA.
  - Imported growing medium to be free from all mushroom / fungi growth.
  - Insure min. 450mm depth soil in all shrub zones as per CSLA landscape standards.
  - Contractor is responsible to obtain and be familiar with the relevant project specifications.

**ISSUES**

No.	Description	Date
1	Issued for O/P / Processing / OCP Amendment	2025-01-29
2	Re-issued for O/P / Reissuing / OCP Amendment	2025-07-31
3	Re-issued 2 for O/P / Reissuing / OCP Amendment	2025-12-09



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Client:  
**LPI Management Ltd.**

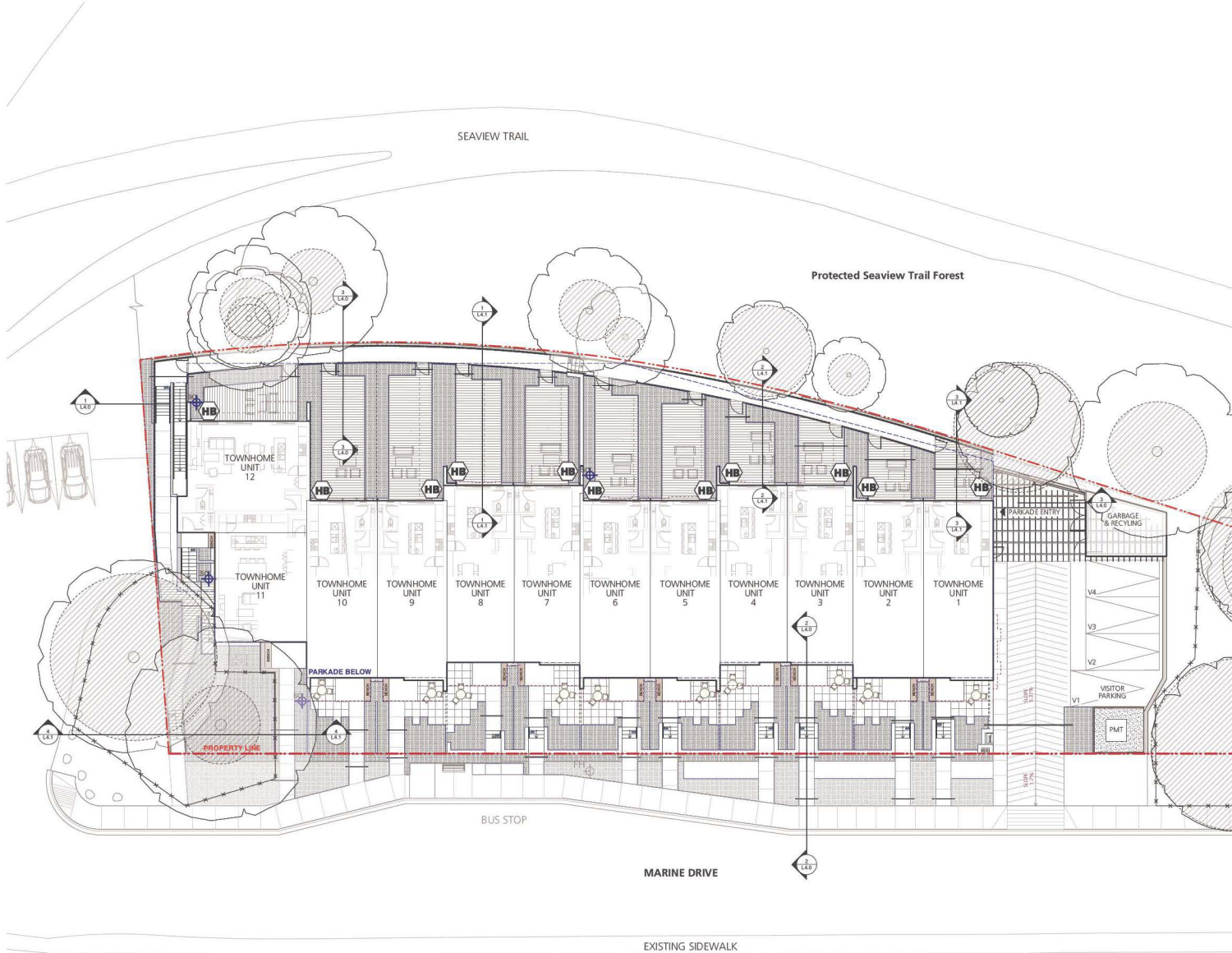
Project Title:  
**Gleneagles**  
6065 & 6060 Marine Drive  
West Vancouver, BC

Drawing Title:  
**Landscape Planting Plan**

Project North: Drawn By: **KC**  
Checked By: **TH/MP**  
Scale: **1:150** Job No.: **24-016**  
Sheet No.:

**L3.0**

Issues	No.	Description	Date
1	Revised by RP / Reviewing / OCP Amendment	2025-07-31	
2	Revised 2 for CR / Reviewing / OCP Amendment	2025-12-09	



**625 sqm**

**LEGEND:**

- SHRUB ZONE ON SITE  
Use Rainbird Sprayheads, Valves and Driplines.
- IRRIGATION SLEEVES  
2" Diameter Sleeve
- STUBOUTS  
1.5" Ball Valve & #30C in 1419 box, 70 PSI @ 35LUSGPM  
QTY: TBD
- SHRUB ZONE
- LAWN ZONE
- HOSE BIB  
QTY: 11

**ELECTRICAL COORDINATION:**

1. Provide 120V power source for irrigation controller in water entry room.
2. Provide conduit with pull string (for low voltage wiring by others) from water entry room to all stub-out locations.

**MECHANICAL COORDINATION:**

1. Provide back-flow-preventer, blow-out-tee and irrigation controller in water entry rooms.
2. Provide piping from water entry room to all stub-out locations indicated on drawings.
3. Provide copper to PVC fitting at each stub-out.

**GENERAL NOTES:**

1. The irrigation contractor to provide a complete and functioning design-build landscape irrigation system.
2. The irrigation contractor shall confirm on site the location of the stub-outs provided by the Mechanical contractor.
3. The mechanical contractor shall install the double check valve and a blow out connection in the water entry room and run supply lines to all stub out locations. See plans.
4. The Electrical contractor shall supply a 120V outlet in the water entry room and run a 1" conduit with pull string from the water entry room to all stub-out locations. See plans.
5. The irrigation contractor shall install the irrigation controller in the water entry room and run all low voltage wires to the solenoid valves.
6. Provide rain sensor on system, location to be determined
7. Flow thru all piping not to exceed 5ft/sec
8. Irrigation contractor to ensure all sleeves, conduits and location of the rain sensor are coordinated with general contractor.
9. The irrigation drawings shall be read in conjunction with the landscape architect's drawings.
10. The irrigation system shall be installed as per the landscape architect's specifications and IABC standards or better.
11. The irrigation contractor shall provide irrigation system for all street trees and boulevard to District of West Vancouver standards.
12. The irrigation contractor to submit shop drawings for approval prior to installation.
13. The irrigation contractor to provide as-built drawings following construction.
14. All Irrigation products to be "Rainbird" brand, or approved equivalent.
15. Irrigation for Off-site area to meet District of West Vancouver specification.
16. Provide separate zones for offsite irrigation.

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Client:  
**LPI Management Ltd.**

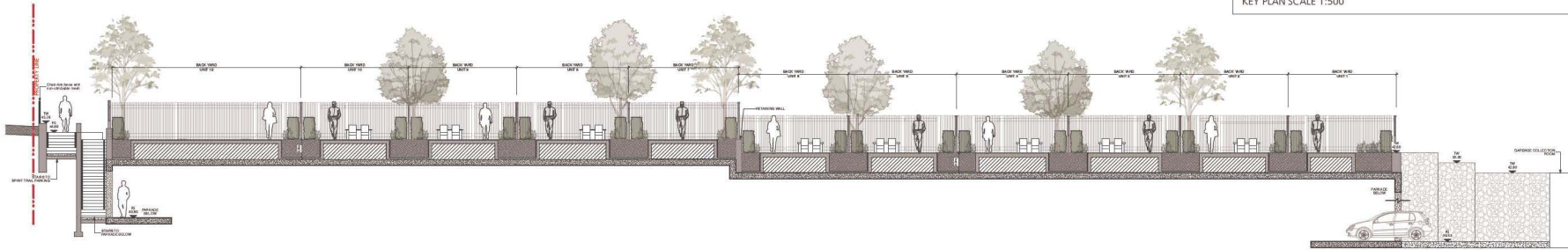
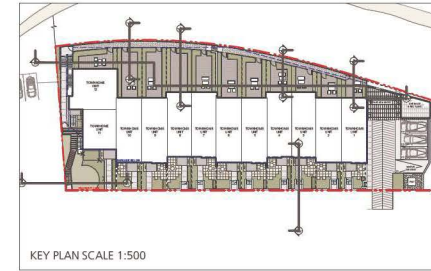
Project Title:  
**Gleneagles**  
6065 & 6060 Marine Drive  
West Vancouver, BC

Drawing Title:  
**Schematic Irrigation Plan**

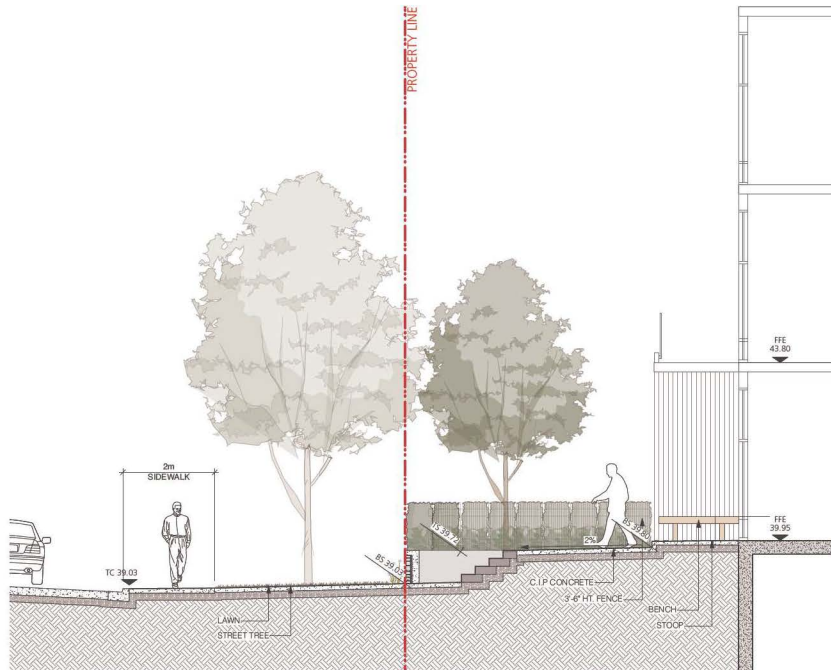
Project North:	TH	Drawn By:	KC
		Checked By:	TH/MP
Scale:	1:150	Job No.:	24-016
Sheet No.:			

**L3.1**

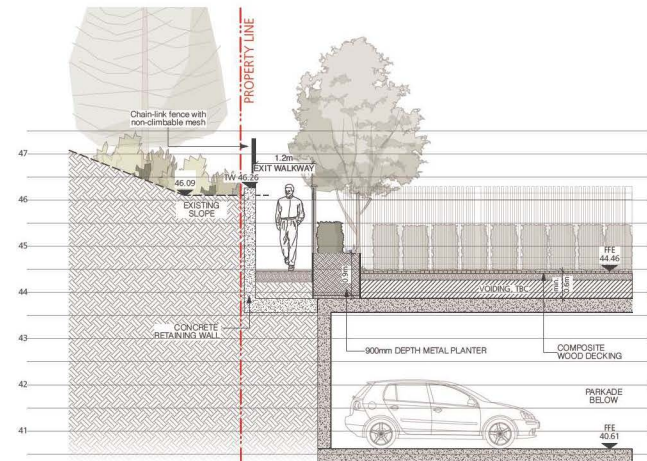
Issues	No.	Description	Date
	1	Issued for DP / Rezoning / OCP Amendment	2025-01-28
	2	Re-issued for DP / Rezoning / OCP Amendment	2025-07-31
	3	Re-issued for DP / Rezoning / OCP Amendment	2025-12-09



1 Section at Back Yards  
Scale: 1:100



2 Section between Unit 3 to Marine Drive  
Scale: 1:50



3 Section between Exit and Unit 10  
Scale: 1:50

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Client:  
**LPI Management Ltd.**

Project Title:  
**Gleneagles**  
6085 & 6090 Marine Drive  
West Vancouver, BC

Drawing Title:  
**Landscape Sections**

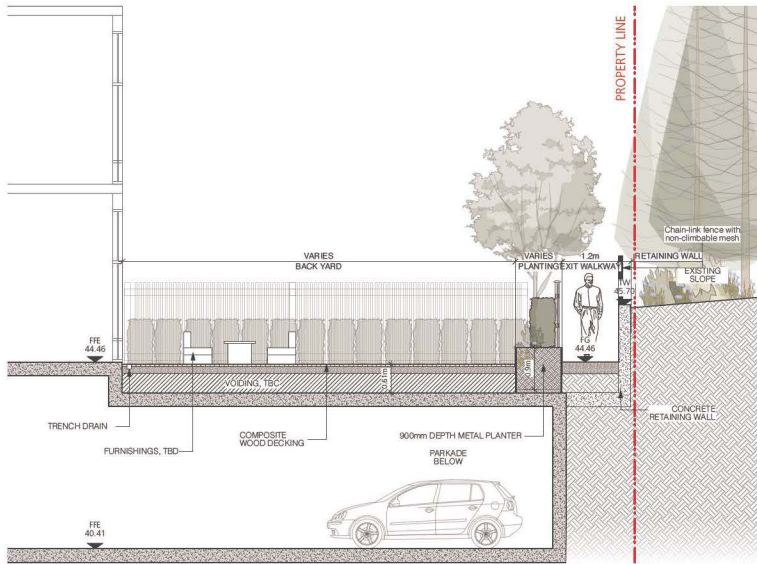
Drawn By: KC

Checked By: TH/MP

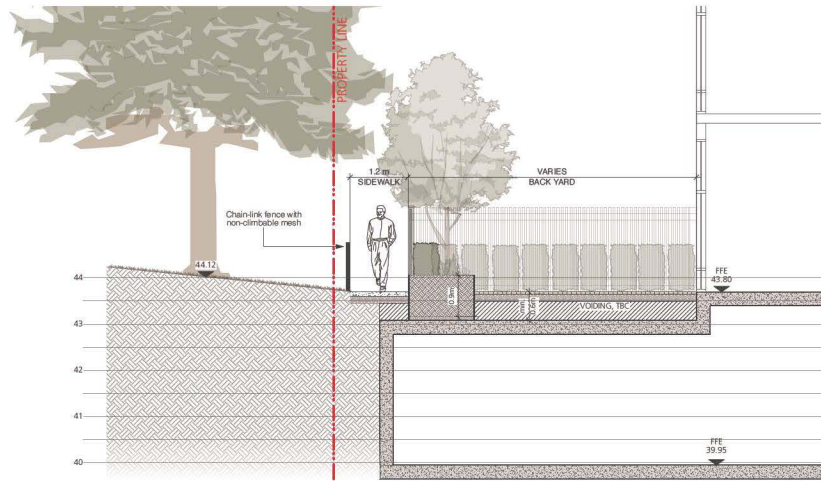
Scale: AS NOTED Job No.: 24-016

Sheet No.:

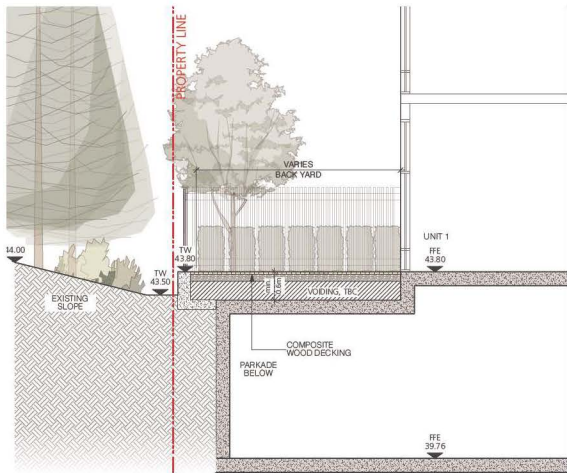
Issues	No.	Description	Date
	1	Issued for DP / Rezoning / OCP Amendment	2025-01-28
	2	Re-issued for DP / Rezoning / OCP Amendment	2025-07-31
	3	Re-issued for DP / Rezoning / OCP Amendment	2025-12-09



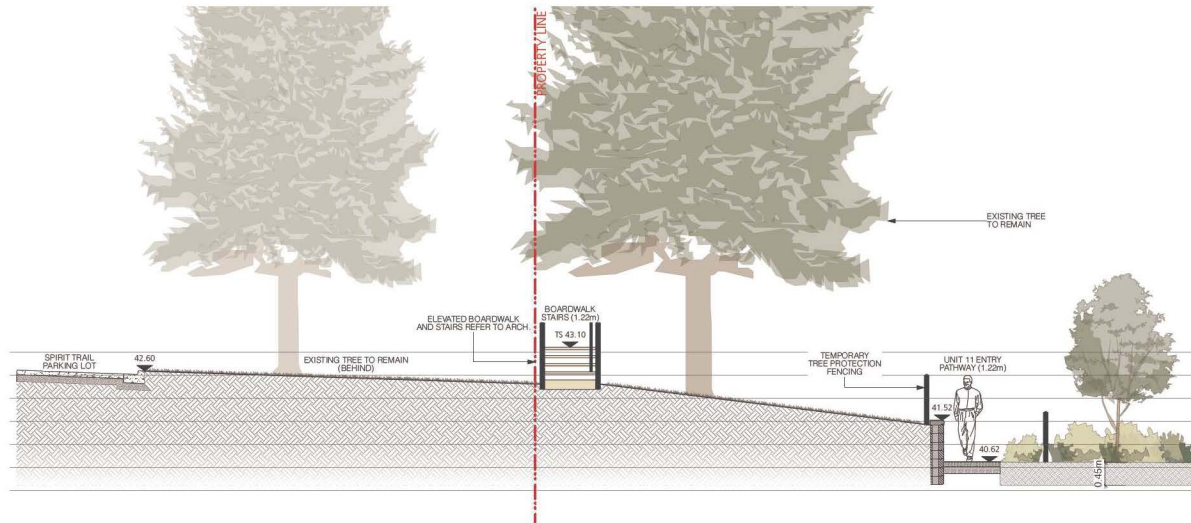
1 Section between Back Pathway and Unit 8  
Scale: 1:50



2 Section between Exit and Unit 4  
Scale: 1:50



3 Section between Exit and Unit 1  
Scale: 1:50



4 Section at Northwest PL  
Scale: 1:50

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Client:  
**LPI Management Ltd.**

Project Title:  
**Gleneagles**  
6085 & 6090 Marine Drive  
West Vancouver, BC

Drawing Title:  
**Landscape Sections**

Drawn By:  
KC

Checked By:  
TH/MP

Scale: AS NOTED Job No.: 24-016

Sheet No.:

L4.1



Composite wood - neutral colour



Catenary Lighting over rear yard deck



Rear yard - Privacy fence option: vertical slats



Metal & wood combination



Rosetta Kodah - stone faced retaining wall



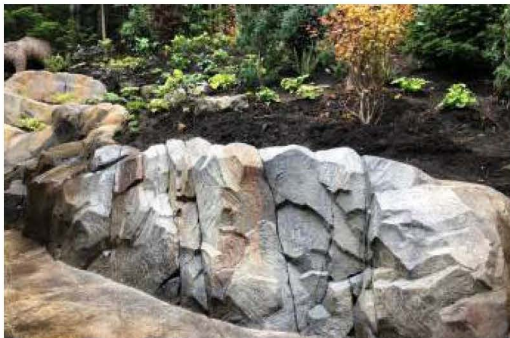
Precast Concrete - Roman stair treads



Lower elevation planter at rear yards



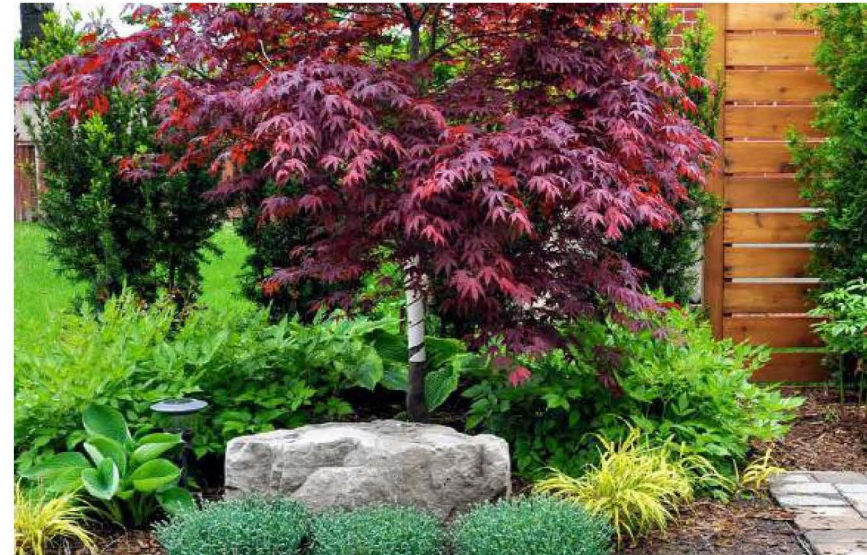
Hydrapressed slabs at front yard patios



Cast in Place - Shotcrete Feature Wall



Compacted gravel at rear yard exit walkway



Front yard shade garden planting palette - Diversity in size, colour and texture.

Issues	No.	Description	Date
	1	Issued for DP Planning / OCP Amendment	2025-01-28
	2	Re-issued for DP/Reopening/OCP Amendment	2025-07-31
	3	Re-issued 2 for DP / Rezoning / OCP Amendment	2025-12-09

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Client:  
**LPI Management Ltd.**

Project Title:  
**Gleneagles**  
6065 & 6020 Marine Drive  
West Vancouver, BC

Drawing Title:  
**Precedent Images**

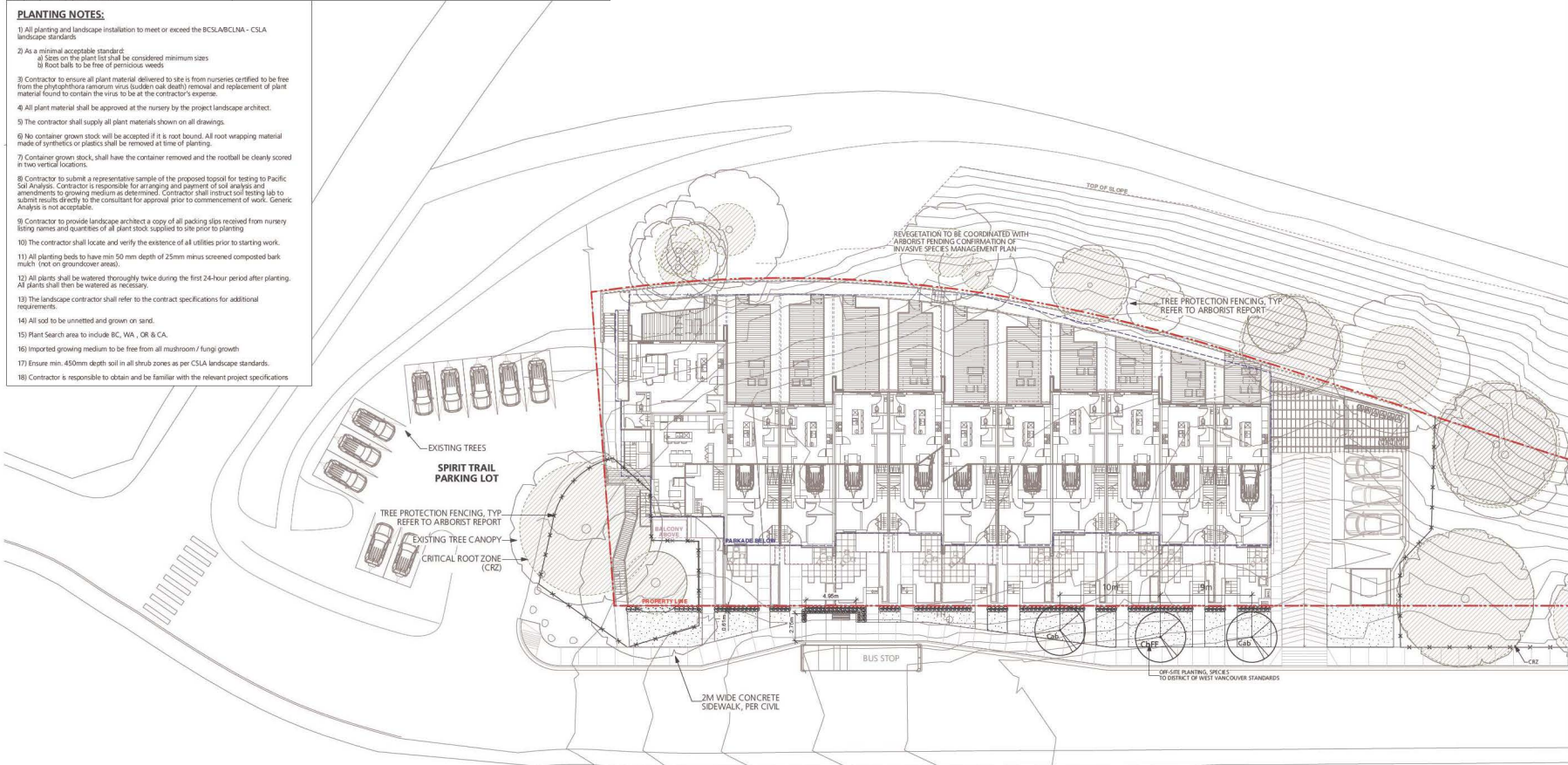
Drawn By: **KC**  
Checked By: **THMP**  
Scale: **Job No.:** 24-016  
Sheet No.:



Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
<b>Trees</b>					
CB	2	<i>Carpinus betulus</i>	European Hornbeam	6cm cal. WB	
CBFF	1	<i>Carpinus betulus 'Frans Fontaine'</i>	Frans Fontaine Hornbeam	6cm cal. WB	
<b>Shrubs</b>					
<b>Groundcovers, Vines, Ferns, Perennials and Grasses</b>					
AV	111	<i>Adiantum venustum</i>	Himalayan Maidenhair Fern	#2 pot	
P	24	<i>Pachysandra terminalis</i>	Japanese Spurge	#1 pot	
PM	3	<i>Polydictyon murinum</i>	Western Sword Fern	#1 pot	
SL	145	145 mm Sodded Lawn			

**PLANTING NOTES:**

- All planting and landscape installation to meet or exceed the BC S/LAB/CLMA - CSLA landscape standards.
- As a minimal acceptable standard:
  - Size on the plant list shall be considered minimum sizes
  - Root balls to be free of pernicious weeds
- Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the phytoplasma ramsbury virus (sudden oak death) removal and replacement of plant material found to contain the virus to be at the contractor's expense.
- All plant material shall be approved at the nursery by the project landscape architect.
- The contractor shall supply all plant materials shown on all drawings.
- No container grown stock will be accepted if it is root bound. All root wrapping material made of synthetics or plastics shall be removed at time of planting.
- Container grown stock, shall have the container removed and the rootball be cleanly scored in two vertical locations.
- Contractor to submit a representative sample of the proposed topsoil for testing to Pacific Soil Analysis. Contractor is responsible for arranging and payment of soil analysis and amendments to growing medium as determined. Contractor shall instruct soil testing lab to submit results directly to the consultant for approval prior to commencement of work. Generic Analysis is not acceptable.
- Contractor to provide landscape architect a copy of all packing slips received from nursery listing names and quantities of all plant stock supplied to site prior to planting.
- The contractor shall locate and verify the existence of all utilities prior to starting work.
- All planting beds to have min 50 mm depth of 25mm minus screened composted bark mulch (not on groundcover areas).
- All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary.
- The landscape contractor shall refer to the contract specifications for additional requirements.
- All sod to be unnetted and grown on sand.
- Plant Search area to include BC, WA, OR & CA.
- Imported growing medium to be free from all mushroom / fungi growth
- Ensure min. 450mm depth soil in all shrub zones as per CSLA landscape standards.
- Contractor is responsible to obtain and be familiar with the relevant project specifications




Issues	Description	Date
1	Revised by EP / Reviewing / OCP Amendment	2025-07-31
2	Revised 2 for EP / Reviewing / OCP Amendment	2025-12-09

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Client:  
**LPI Management Ltd.**

Project Title:  
**Gleneagles**  
6085 & 6090 Marine Drive  
West Vancouver, BC

Drawing Title:  
**Off-site  
Planting Plan**

Project North:  Drawn By: **KC**  
Checked By: **TH/MP**  
Scale: Job No.: **24-016**  
Sheet No.:

**L1.1**

# CREUS Engineering

Civil Engineers & Project Managers  
#810 EAST TOWER - 221 ESPLANADE WEST, NORTH VANCOUVER BC, V7M3J3  
PH: 604-987-9070 WEBSITE: www.creus.ca

DP 25-012  
Schedule C

PROJECT:

## 6085 & 6093 MARINE DRIVE WEST VANCOUVER, BC

CLIENT:

**LPI MANAGEMENT LTD.**



DRAWING LIST	
DWG No.	
KEY	KEY PLAN
SERV	SERVICING PLAN
SMP	STORMWATER MANAGEMENT
R-1	ROADWORKS

**2025-12-09**

**RE-ISSUED FOR DEVELOPMENT PERMIT**



SEE DRAWING KEY FOR GENERAL NOTES  
 SEE DRAWING R-1 FOR ROADWORKS NOTES  
 SEE DRAWING SERV FOR WATERWORKS NOTES  
 SEE DRAWING SERV FOR STORM & SANITARY NOTES

CONTRACTOR TO VERIFY & LOCATE EXISTING MAINS & SERVICE CONNECTIONS & NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION

**LEGAL DESCRIPTION**

LOT A OF LOT 16; BLOCK 4; DL 771; GROUP 1, NEW WESTMINSTER DISTRICT; PLAN 6025

**BENCHMARK INFORMATION**

ELEVATIONS ARE METRIC, GEODETIC DATUM, AND DERIVED FROM PUBLISHED SEWER INVERT DS WITH NORTH INVERT EL: 43.690m (143.34')

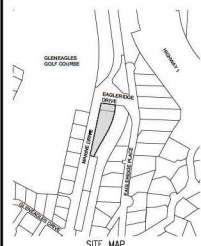
**GENERAL NOTES**

- ALL CONSTRUCTION MUST CONFORM TO THE DISTRICT OF WEST VANCOUVER & MCMC SPECIFICATIONS AND MUST PASS THE ENGINEER'S INSPECTION UPON COMPLETION OF EACH STAGE OF CONSTRUCTION.
- ALL CONSTRUCTION WITHIN THE PROPERTY MUST CONFORM TO THE MUNICIPAL STANDARDS, MASTER MUNICIPAL SPECIFICATIONS, CURRENT B.C. BUILDING CODE, & B.C. PLUMBING CODE.
- THE CONTRACTOR MUST NOTIFY ENGINEER THEN THE DISTRICT OF WEST VANCOUVER, 48 HOURS PRIOR TO STARTING CONSTRUCTION TO ESTABLISH AN INSPECTION SCHEDULE.
- THE CONTRACTOR SHALL ENSURE THAT ALL APPROVALS REQUIRED FOR THE PROPOSED WORK HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
- A PRE-CONSTRUCTION MEETING BETWEEN ENGINEER, THE CONTRACTOR, AND DISTRICT OF WEST VANCOUVER IS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- A PORTION OF THE CONTRACT DOCUMENTS IS INCLUDED BY REFERENCE. COPIES OF THESE DOCUMENTS HAVE BEEN REFERENCED IN THE TENDER PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT CURRENT RELEVANT COPIES OF ALL DRAWINGS AND CONTRACT DOCUMENTS ARE FORWARDED TO SUBMITTERS, TESTING AGENCIES, SUBCONTRACTORS, SUBMITTANTS, ESTIMATORS, PROJECT MANAGERS, SITE STAFF AND ANY OTHER RELEVANT PARTIES. CONTRACTOR CONFIRMS THEY HAVE REVIEWED SAME PRIOR TO SUBMITTING TENDER.
- THE CONTRACTOR WILL CONSTRUCT ALL WORKS TO THE SATISFACTION OF THE INSPECTORS FROM THE ENGINEER AND THE REGULATORY AUTHORITY. IF PLEASED ADDITIONALLY, THE TELLUS WORKS UNDER THE DIRECTION AND TO THE SATISFACTION OF THE TELLUS INSPECTOR, HYDRO WORKS TO SATISFACTION OF THE BC HYDRO INSPECTOR, TERASEN WORKS TO SATISFACTION OF THE TERASEN INSPECTOR, SHAW WORKS TO SATISFACTION OF THE SHAW INSPECTOR. THE CONTRACTOR WILL FORWARD TO THE ENGINEER CERTIFICATION OF ACCEPTANCE OR APPROVAL FROM THE ABOVE NOTED INSPECTORS ON COMPLETION OF THE WORK. ELECTRICAL WORKS, IF APPLICABLE TO ALSO BE UNDER PERMIT WITH BC ELECTRICAL SAFETY BRANCH WITH A COPY OF PERMIT AND SIGN OFF TO BE FORWARDED TO THE ENGINEER. CONTRACTOR TO GIVE TIMELY NOTICE TO RELEVANT INSPECTOR TO ALLOW FOR INSPECTION ON WORKS AND UPDATE ENGINEER ON SAME.
- THE CONTRACTOR WILL PERFORM AT HIS OWN COST ALL TESTING REQUIRED BY THE REGULATORY AUTHORITY, MCMC AND THE ENGINEER. TESTING SHALL BE DONE BY AN INDEPENDENT SPECIALLY TESTING FIRM. CONTRACTOR TO GIVE ENGINEER NOTICE ON ALL TESTING. COPIES OF TESTS TO BE FORWARDED DIRECTLY BY THE TESTING FIRM TO ENGINEER AND GEOTECHNICAL ENGINEER BY EMAIL.
- SUB-CONTRACTORS SHALL NOT COMMUNICATE WITH THE ENGINEERS OR OWNER DIRECTLY ON ANY CONTRACTUAL OR TECHNICAL ISSUE. THEY SHALL DIRECT THEIR ISSUES TO THE CONTRACTOR DIRECTLY WHOSE RESPONSIBILITY IT TO DEAL WITH THESE ISSUES ON THEIR BEHALF WITH THE ENGINEER. REVIEW AND APPROVAL OF ANY CONTRACTUAL MATTER INCLUDING PROGRESS PAYMENT, CHANGE ORDER, PAYMENT OF HOLDBACK, FINAL PAYMENT, INSURANCE AND WARRANTY, ETC. SHALL UNDIRECTED TO THE ENGINEER. CONTRACTOR MUST ONLY TAKE DIRECTION FROM THE ENGINEER IN REGARDS TO CHANGES TO DESIGN OR EXTRA WORKS.
- UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR NOTIFIED TO THE CONTRARY BY THE ENGINEER, THE CONTRACTOR IS THE "PRIME CONTRACTOR" FOR THE PURPOSES OF ALL APPLICABLE LAWS RELATIVE TO OCCUPATIONAL HEALTH AND SAFETY, INCLUDING THE DISCHARGE OF ALL DUTIES OF THE "PRIME CONTRACTOR" UNDER THE WORKERS COMPENSATION ACT (BRITISH COLUMBIA), NOTWITHSTANDING THAT THE ENGINEER, THE OWNER OR AN OTHER CONTRACTOR MAY PROVIDE FROM TIME TO TIME, SOME OF THE SERVICES NORMALLY PROVIDED BY SUCH "PRIME CONTRACTOR". IN THIS SECTION "PRIME CONTRACTOR" MEANS THE CONTRACTOR SO DEFINED UNDER THE WORKERS COMPENSATION ACT (BRITISH COLUMBIA).
- LOCATIONS OF EXISTING UNDERGROUND SERVICES HAVE BEEN DETERMINED FROM UTILITY AS-CONSTRUCTED DRAWINGS. CONTRACTOR TO CONTACT BC ONE CALL AND PROVIDE COPIES TO ENGINEER AND VERIFY THE LOCATION OF ALL EXISTING SERVICES AND TO NOTIFY ENGINEER OF ANY DISCREPANCIES, CONFLICTS OR OMISSIONS PRIOR TO BEGINNING OF CONSTRUCTION.
- THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR EXISTING SERVICES AND ANY SERVICES DISTURBED ARE TO BE REPLACED TO THE SATISFACTION OF DOW, THE ENGINEER AND/OR APPROPRIATE UTILITY CORPORATION.
- THE CONTRACTOR'S SURVEYOR WILL RECORD AND CERTIFY ALL INFORMATION REQUIRED FOR THE ENGINEER TO PROVIDE A COMPLETE SET OF AS-CONSTRUCTED DRAWINGS INCLUDING CENTERLINE, FOG LINE, EDGE OF ASPHALT, SIGNS, AND ALL APPURTENANCES. SEE SUPPLEMENTAL SPECIFICATION FOR DETAILS.
- WHEN NO IMPROVEMENTS ARE PROPOSED UNDER THIS CONTRACT, THE EXISTING SECTION(S) OF ROADWAY SHALL BE KEPT CLEAN AND CLEAR FOR THE DURATION OF CONSTRUCTION AND LEFT IN SAME CONDITION AS PRIOR TO CONSTRUCTION.
- TRAFFIC CONTROL FOR THE MINORITY OF TRANSPORTATION TRAFFIC MANUAL FOR WORK ON ROADWAYS AND AS PER THE TRANSPORTATION ASSOCIATION OF CANADA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. CONTRACTOR TO SUBMIT PLAN FOR TRAFFIC MANAGEMENT FOR APPROVAL AND RECEIVE SAME PRIOR TO PROCEEDING WITH WORKS.
- VEHICULAR ACCESS TO EXISTING DWELLINGS TO BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE CONTRACT.
- PEDESTRIANS SHALL BE PROTECTED AT ALL TIMES. ANY CLOSURES OF THE SIDEWALK OR LANES TO BE COORDINATED WITH AND APPROVED BY THE ENGINEER AND A PERMIT FROM REGULATORY AUTHORITY OBTAINED AND FORWARDED TO ENGINEER. CONTRACTOR TO PROVIDE REQUIRED NOTICES.
- RESIDENTS DIRECTLY AFFECTED BY CONSTRUCTION OF THIS PROJECT SHALL BE GIVEN 48 HOURS WRITTEN NOTICE OF THE PROPOSED START OF CONSTRUCTION. IF CONSTRUCTION ENTERS ONTO PRIVATE PROPERTY, THE CONTRACTOR OR DEVELOPER'S AGENT WILL REQUIRE WRITTEN AUTHORIZATION FROM THE PRIVATE PROPERTY OWNER.
- RETAINING DESIGNATED TREES IS OF PRIME IMPORTANCE. WHEN WORKING IN PROXIMITY TO A DESIGNATED TREE OR WHEN ROOTS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONSULT A CERTIFIED ARBORIST BEFORE PROCEEDING TO PREVENT DAMAGE TO TREES.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ENSURE THAT NO SILT IS DISCHARGED TO THE STORM DRAINAGE SYSTEM, ROADWAYS OR ADJACENT PROPERTIES DURING THE COURSE OF CONSTRUCTION IN ACCORDANCE WITH DFO/AGELP'S "LAND DEVELOPMENT GUIDELINES FOR THE PROTECTION OF AQUATIC HABITAT".
- FOR BC HYDRO, TELLUS, AND TERASEN INSTALLATION, SEE APPROPRIATE UTILITY COMPANY DRAWINGS AND SPECIFICATIONS.
- UPON COMPLETION OF WORKS, OWNER MUST CONDUCT CCTV TEST TO ENSURE NO CROSS CONNECTIONS & CONDITION OF PIPES. A COPY OF THE REPORT IS TO BE FORWARDED TO THE DISTRICT OF WEST VANCOUVER UTILITIES.
- SEE LANDSCAPE DRAWINGS FOR PLANTING DETAILS.
- SEE ELECTRICAL DRAWINGS FOR STREETLIGHTING PLANS.

**CREUS Engineering**

Civil Engineers & Project Managers  
 #101 EAST TOWER - 201 BURNABY WEST NORTH VANCOUVER BC V8M 1G6  
 TEL: 604-447-0470 FAX: 604-447-0471 WEB SITE: www.creus.ca

PERMIT TO PRACTICE # 1001543



**DRAWING LEGEND**

LEGAL LINE	EXISTING	PROP.	TO BE REMOVED
SEWER	---	---	---
WATER	---	---	---
SANITARY	---	---	---
HYDRO	---	---	---
STREETLIGHT	---	---	---
GAS	---	---	---

FREE HYDRANT	EXISTING	PROP.	TO BE REMOVED
GATE VALVE	---	---	---
AIR VALVE	---	---	---
INSPECTION CHAMBER	---	---	---
WATER METER	---	---	---
CPA	---	---	---
MANHOLE	---	---	---
STREETLIGHT	---	---	---



client  
**LPI MANAGEMENT LTD.**

project  
**6085 & 6093 MARINE DRIVE  
 WEST VANCOUVER, BC**

title  
**KEY PLAN**

no.	description	revision	DATE
4	25/12/08	RE-ISSUED FOR DEVELOPMENT PERMIT	AFG
3	25/10/08	REVISED PER DWV COMMENTS	AFG
2	25/07/01	REVISED PER DWV COMMENTS	AFG
1	25/01/08	ISSUED FOR COMBINED REZONING, DEVELOPMENT PERMIT & OCP AMENDMENT	AFG

engineer of record	FMC	scale	hor: 1:300 vert:
designed by	AFG	file no.	24167
drawn by	AFG	drawing no.	KEY
date	24/07/11		



**LEGAL DESCRIPTION**

LOT A OF LOT 16, BLOCK 4, DL 771, GROUP 1,  
NEW WESTMINSTER DISTRICT, PLAN 6025

**BENCHMARK INFORMATION**

ELEVATIONS ARE METRIC, GEODETIC DATUM, AND DERIVED FROM PUBLISHED SEWER INVERT DS WITH NORTH INVERT  
E1: 43.690m (143.34')

SEE DRAWING KEY FOR GENERAL NOTES  
SEE DRAWING R-1 FOR ROADWORKS NOTES  
SEE DRAWING SERV FOR WATERWORKS NOTES  
SEE DRAWING SERV FOR STORM & SANITARY NOTES

CONTRACTOR TO VERIFY & LOCATE EXISTING MAINS & SERVICE CONNECTIONS & NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION

**WATERWORKS NOTES**

- VALVES AND HYDRANTS OF EXISTING SYSTEM TO NOT BE OPERATED WITHOUT THE PERMISSION OF THE ENGINEER AND WATER UTILITY.
- THE DISTRICT OF WEST VANCOUVER SHALL MAKE "TIE-IN(S)" TO THE EXISTING WATERMAIN(S) AT THE COST OF THE DEVELOPER. THE CONTRACTOR SHALL GIVE THE CITY & ENGINEER 72 HOURS NOTICE PRIOR TO TIE-IN.
- ALL WATERMAIN PIPING TO BE DUCTILE IRON (D.I.) WATERMAIN CLASS 50 TO AWMA C151, CEMENT MORTAR LINED TO AWMA C104, UNLESS NOTED OTHERWISE. TYTON JOINTS TO AWMA C111 AND ASTM D3113.9 & GASKET TO ASTM F477.
- TYTON JOINTS TO AWMA C111 AND ASTM D3113.9 & GASKET TO ASTM F477.
- TESTING OF THE WATERMAIN TO BE COMPLETED BY THE CONTRACTOR AS NOTED IN THE CONSTRUCTION SPECIFICATIONS & MMCO (LATEST EDITION). ENGINEER & REGULATORY AUTHORITY MUST BE NOTIFIED 48 HOURS IN ADVANCE OF ANY TESTING.
- ALL WORKS TO BE PER MMCO, MUNICIPAL REQUIREMENTS, CONTRACT DOCUMENTS AND ALSO THE BCBC WITHIN PROPERTY LIMITS.
- HYDRANTS TO BE TERMINAL CITY NO. 20P & SURROUNDED BY 1.0m RADIUS ASPHALT APRON. HYDRANTS TO BE PAINTED WHITE WITH RED BONNET & CAP. HYDRANT PUMPER PORT TO BE 0.30m TO 1.0m ABOVE FINISHED GRADE. HYDRANT BODY TO BE INSTALLED 150mm ABOVE FINISHED GRADE.
- SERVICE CONNECTIONS UP TO 50MM TO PROPERTY LINE TO BE TYPE "K" ANNEALED COPPER TO ASTM B88M AND SIZED AS SPECIFIED. SERVICE CONNECTIONS C/W WATER METER (50mm SERVICE/20mm METER OR 38mm SERVICE/20mm METER) & CHAMBER TO BE INSTALLED BY DISTRICT OF WEST VANCOUVER CRUWS AT THE DEVELOPER'S COST. CONTRACTOR TO ENSURE THE CONNECTION AND METER ARE INSTALLED IN ACCORDANCE WITH THE DRAWING AND PROVIDE DISTRICT CRUWS WITH FINAL GRADES. SERVICE AS PER DWG STD DWG MW-2A.
- SERVICE CONNECTIONS UP TO 50mm FROM THE PROPERTY LINE TO BE POLYBUTYLENE TO AWMA C902 CLASS 160, POLYETHYLENE TO AWMA C901, PRESSURE CLASS TUBING TO CSA B137.1 OR ENGINEER APPROVED ALTERNATIVE UNLESS SPECIFIED OTHERWISE.
- ALL FITTINGS TO BE DUCTILE IRON TO AWMA C110 OR C153, CEMENT MORTAR LINED TO AWMA C104, TYTON JOINTS TO AWMA C111, WITH CLOSED LUGS.
- SERVICE CONNECTIONS TO BE MARKED WITH A 40mm x 90mm POST PAINTED BLUE AT TERMINATION. SERVICES TO BE TERMINATED 1m BEYOND THE PROPERTY LINE, UNLESS OTHERWISE NOTED.
- DURING CONSTRUCTION AND AT ANY TIME PRIOR TO ACCEPTANCE AND PRESSURIZING OF MAINS, THE CONTRACTOR SHALL PLACE A 0.3m SQUARE 20mm SHEET OF PLYWOOD OVER THE PUMPER NOZZLE OF THE HYDRANT TO INDICATE THE HYDRANT IS NOT IN USE.
- WATERMAIN TO BE CONSTRUCTED A MINIMUM OF 0.5m ABOVE STORM OR SANITARY SEWERS AND MAINTAIN 3.0m HORIZONTAL CLEARANCE. IN AREAS WHERE LESS THAN 0.5m VERTICAL OR 3.0m HORIZONTAL CLEARANCE CAN NOT BE MAINTAINED, ALL JOINTS TO BE HEAT SHRINK WRAPPED OR TAPE WRAPPED AS PER MINISTRY OF HEALTH STANDARDS, ANS/AWMA C214 (FACTORY APPLIED), ANS/AWMA C309 (FIELD APPLIED) ANS/AWMA C217-90 (PETROLIUM TAPE). ALL TO MINISTRY OF HEALTH STANDARDS. WATERMAIN CROSSINGS OF STORM OR SANITARY SEWER TO BE MADE AT MIDPOINT OF PIPE.
- WHERE SEWER MAIN CROSSES WATERMAIN AND CLEARANCE IS LESS THAN 0.5m, THE UPPER PIPE SHALL BE CONCRETE ENCASED PER MMCO STD. DWG. C4.
- WHERE WATERMAIN PIPE GRADE EXCEEDS 15% PIPE TO BE ANCHORED AS PER MMCO STD DWG G6. JOINT RESTRAINTS TO MMCO SPECIFICATION SECTION 02666 TO BE INSTALLED WHERE GRADE EXCEEDS 20%.
- PIPE BEDDING TO CONFORM WITH MMCO STANDARDS. SEE MMCO STD. DWG G4 AND BE COMPACTED TO 95% MODIFIED PROCTOR PRIOR TO BACKFILLING TRENCH.
- EXCAVATION AND PAVEMENT RESTORATION TO BE COMPLETED BY CONTRACTOR PER REGULATORY AUTHORITY REQUIREMENTS, MMCO STANDARDS AND CONTRACT DOCUMENTS. CONTRACTOR TO GIVE NOTICE PRIOR TO COMPLETING WORKS.
- CONTRACTOR SHALL MAKE "TIE-IN(S)" TO EXISTING WATERMAIN(S) UNDER SUPERVISION OF ENGINEER. CONTRACTOR TO ADVISE ENGINEER 48 HOURS PRIOR TO TIE-IN.
- INSTALLATION, TESTING AND CHLORINATING TO BE PERFORMED IN ACCORDANCE WITH C.N.V., MMCO CONSTRUCTION SPECIFICATIONS, AWMA C900 AND AWMA C901. ENGINEER AND DWP TO BE GIVEN 48 HOURS NOTICE PRIOR TO TESTING AND CONTRACTOR TO INSURE TESTING IS COMPLETED IN THE PRESENCE OF THE ENGINEER.
- MINIMUM COVER ON WATERMAIN = 1.0m.
- THRUST BLOCKS AS PER MMCO STD DWG W1.
- SERVICE CONNECTIONS AS PER MMCO STD DWG W2A.
- BLOW OFF AND AIR VALVES AS PER MMCO STD DWGS W6 AND W8.
- PIPE BEDDING TO CONFORM WITH MMCO STANDARDS. SEE MMCO STD. DWG G4 AND BE COMPACTED TO 95% MODIFIED PROCTOR PRIOR TO BACKFILLING TRENCH.
- COVERS FOR INSPECTION CHAMBERS, VALVE RISERS AND METER CHAMBERS LOCATED WITHIN DRIVEWAYS SHALL BE SUITABLE FOR TRAVELLED LOADING.
- SITE SERVICING WORKS TO COMMENCE ONLY AFTER OFFSITE SERVICE CONNECTION HAS BEEN INSTALLED & VERIFIED.

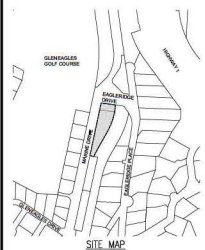
**STORM AND SANITARY NOTES**

- SANITARY GRAVITY SEWERS TO BE PVC SDR 28 FOR SERVICE CONNECTIONS AND SDR 35 FOR MAIN LINES WHEN TESTED IN ACCORDANCE WITH ASTM D3034 & CSA B182.1. PIPE STIFFNESS (1/2") SHALL BE 314 kPa AT 2.5% DEFLECTION WHEN TESTED IN ACCORDANCE WITH ASTM D2412 UNLESS NOTED OTHERWISE.
- STORM GRAVITY SEWERS TO BE EITHER PVC SDR 28 FOR SERVICE CONNECTIONS AND SDR 35 FOR MAIN LINES AND CB LEADS WHEN TESTED IN ACCORDANCE WITH ASTM D3034 & CSA B182.1 (PIPE STIFFNESS (1/2") SHALL BE 314 kPa AT 2.5% DEFLECTION WHEN TESTED IN ACCORDANCE WITH ASTM D2412 UNLESS NOTED OTHERWISE) OR CONCRETE AND SHALL MEET ASTM C14 CLASS 3 OR IF INDICATED ON DRAWINGS SDR 35 FOR MAIN LINES WHEN TESTED IN ACCORDANCE WITH ASTM D3034 & CSA B182.1 (PIPE STIFFNESS (1/2") SHALL BE 314 kPa AT 2.5% DEFLECTION WHEN TESTED IN ACCORDANCE WITH ASTM D2412 UNLESS NOTED OTHERWISE).
- SANITARY FORCE MAINS ARE TO BE PVC TO AWMA C900 CLASS 150 OR HIGH DENSITY POLYETHYLENE SERIES 100 (DR17) OR BETTER, TO ASTM F714-85 & ASTM D-1248-84.
- STORM SERVICES TO BE MINIMUM SDR28 P.V.C. 150mm MIN C/W INSPECTION CHAMBER AT PROPERTY LINE AS PER MMCO STD. DWG S7
- SANITARY SERVICES TO BE MINIMUM SDR28 P.V.C. 100mm MIN C/W INSPECTION CHAMBER AT PROPERTY LINE AS PER MMCO STD. DWG S7
- CATCH BASIN RIMS TO BE SET 25mm BELOW OUTER LINE ELEVATION.
- TESTING OF SEWERS TO BE PERFORMED IN THE PRESENCE OF ENGINEER INSPECTORS. 48 HOURS PRIOR NOTICE REQUIRED.
- ALL SEWERS TO BE T.V. CAMERA INSPECTED. T.V. CAMERA INSPECTION TO BE ARRANGED AND PAID FOR BY THE CONTRACTOR.
- ALL SEWER SERVICE CONNECTIONS ENTERING MANHOLES TO HAVE INVERT ELEVATION AT CROWN ELEVATION OF DOWNSTREAM SEWER OUTLET EXCEPT WHERE NOTED OTHERWISE.
- WHERE SANITARY PIPE GRADE EXCEEDS 15%, PIPE TO BE ANCHORED AS PER MMCO STD. DWG G8.
- MINIMUM GRADE ON SERVICE CONNECTIONS TO BE 2%, UNLESS NOTED OTHERWISE. SERVICE CONNECTIONS AS PER MMCO STD. DWG S7 AND S8.
- PIPE BEDDING TO CONFORM WITH MMCO STANDARDS. SEE MMCO STD. DWG G4 AND BE COMPACTED TO 95% MODIFIED PROCTOR PRIOR TO BACKFILLING TRENCH.
- ALL MANHOLES TO BE TO MMCO STD DWG S1, MINIMUM 1050 UNLESS OTHERWISE NOTED.
- EXCAVATION AND PAVEMENT RESTORATION TO BE COMPLETED BY CONTRACTOR PER REGULATORY AUTHORITY REQUIREMENTS, MMCO STANDARDS AND CONTRACT DOCUMENTS. CONTRACTOR TO GIVE NOTICE PRIOR TO COMPLETING WORKS.
- SERVICE CONNECTIONS TO BE MARKED WITH A 40mm x 90mm POST PAINTED RED FOR SANITARY AND GREEN FOR STORM AT TERMINATION. SERVICES TO BE TERMINATED 1m BEYOND THE PROPERTY LINE, UNLESS OTHERWISE NOTED.
- MIN. COVER FOR SANITARY = 1.5m UNDER TRAVELED AREAS AND 1.0m UNDER NON-TRAVELED AREAS.
- SITE SERVICING WORKS TO COMMENCE ONLY AFTER OFFSITE SERVICE CONNECTION HAS BEEN INSTALLED & VERIFIED.

**CREUS Engineering**

Civil Engineers & Project Managers  
4810 EAST TOWER, 201 BURNABY WEST NORTH VANCOUVER BC, V8G 1S6  
PH: 604-447-9070 WEBSITE: www.creus.ca

PERMIT TO PRACTICE # 1001543



**DRAWING LEGEND**

LEGAL LINE	EXISTING	PROP.	TO BE REMOVED
SANITARY	---	---	---
STORM	---	---	---
HYDRANT	---	---	---
STREETLIGHT	---	---	---
GAS	---	---	---
FREE HYDRANT GATE VALVE	---	---	---
INSPECTION CHAMBER (CATCHBAIN) (SIZES)	---	---	---
CAP	---	---	---
MANHOLE	---	---	---
STREETLIGHT	---	---	---



client  
**LPI MANAGEMENT LTD.**

project  
6085 & 6093 MARINE DRIVE  
WEST VANCOUVER, BC

title  
**SERVICING PLAN**

NO.	DATE	REVISION	BY	CHKD
4	25/10/28	RE-ISSUED FOR DEVELOPMENT PERMIT	AFG	
3	25/10/28	REVISED PER DWV COMMENTS	AFG	
2	25/07/21	REVISED PER DWV COMMENTS	AFG	
1	25/01/28	ISSUED FOR COMBINED REZONING, DEVELOPMENT PERMIT & OCP AMENDMENT	AFG	

engineer of record	FMC	scale	hor: 1:300	vert:
designed by	AFG	file no.	24167	
drawn by	AFG	drawing no.		
date	24/07/17		SERV	



- NOTES:
1. SITE GRADES SHOWN FOR REFERENCE ONLY. DETAILED SITE GRADING BY OTHERS.
  2. SITE DRAINAGE SHOWN RELATES TO STORMWATER MANAGEMENT ONLY. CONTRACTOR TO ENSURE ADEQUATE DRAINAGE PROVIDED.
  3. ALL WORKS TO CONFORM TO CURRENT MUNICIPAL AND BC BUILDING & PLUMBING CODE REQUIREMENTS.
  4. INFILTRATION TRENCH LOCATIONS AND EXTENTS TO BE COORDINATED IN FIELD WITH ENGINEER.
  5. MUNICIPAL SERVICE CONNECTION IS TO BE INSTALLED & VERIFIED PRIOR TO THE INSTALLATION OF THE STORMWATER MANAGEMENT SYSTEM.
  6. ONSITE AREA DRAIN LOCATIONS MAY VARY DEPENDING ON SITE CONDITIONS.
  7. ENGINEER TO APPROVE ANY ALTERNATE INFILTRATION/DETENTION TANK PRODUCTS.
  8. CONTRACTOR TO ENSURE THAT WATER FROM AN INFILTRATION TANK WILL NOT DIRECTLY ENTER THE BUILDING PERIMETER DRAINAGE SYSTEM. UNDERTAKING NATIVE MATERIAL TO BE LEFT IN PLACE BETWEEN INFILTRATION TANK EXCAVATION AND HOUSE EXCAVATION TO PREVENT DIRECT CROSS-CONNECTION TO PERIMETER DRAINAGE SYSTEM. THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER IF THERE IS A POTENTIAL FOR CROSS-CONNECTION BETWEEN AN INFILTRATION TANK AND THE BUILDING PERIMETER DRAINAGE SYSTEM OR IF THE MATERIAL FOUND AT THE SITE OF THE TANK IS UNSUITABLE FOR INFILTRATION.
  9. REFER TO SUPPLIERS OPERATION AND MAINTENANCE MANUAL FOR SYSTEM MAINTENANCE DETAILS. SUMPS TO BE PERIODICALLY CLEARED OF SEDIMENT AS REQUIRED.

CONTRACTOR TO VERIFY & LOCATE EXISTING MAINS & SERVICE CONNECTIONS & NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION

+EL.123.45 EXISTING ELEVATION  
+ 123.45 PROPOSED ELEVATION

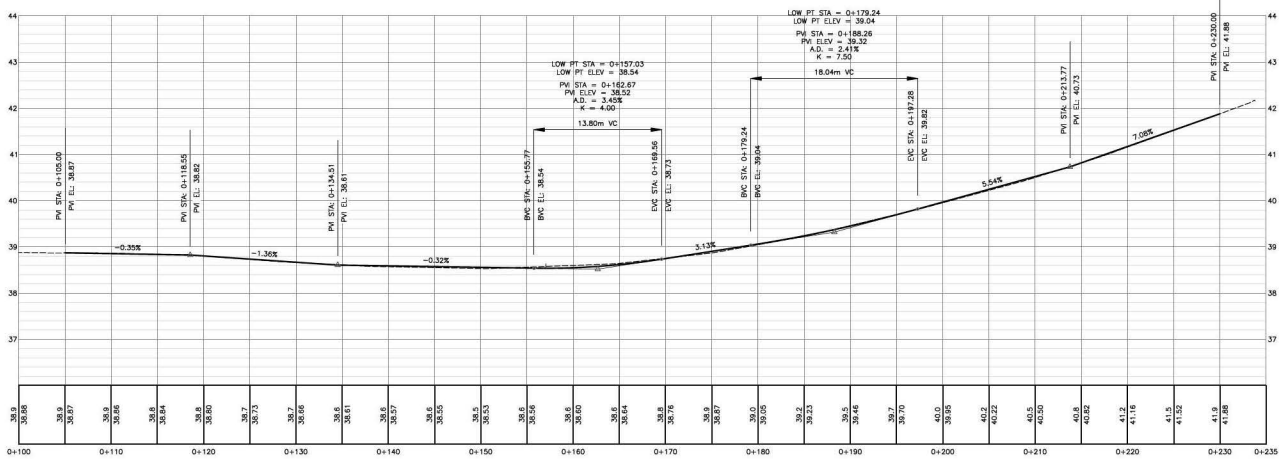
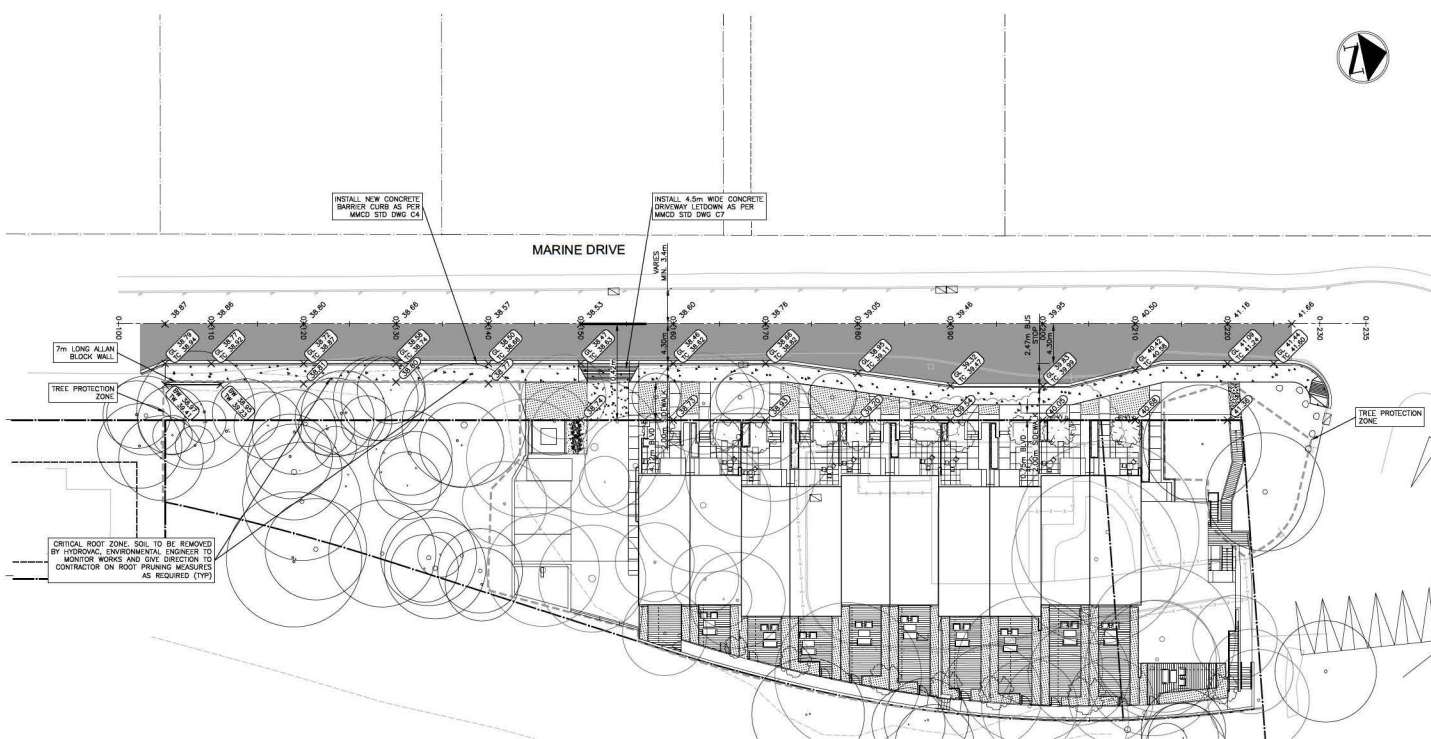
CREUS Engineering Ltd		Civil Engineer																						
<b>SMP Calculations</b>																								
Project: Stormwater Management Plan		File: 2487																						
Client: SMP Source Control Calculations		Drawn: R.L.																						
<p><b>Objectives:</b></p> <ol style="list-style-type: none"> <li>1) Reduce runoff to the first 20mm of rainfall on impervious surfaces and the first 20mm of rainfall on pervious surfaces.</li> <li>2) Meet or beat 85% of runoff from 24 hours from all pervious and impervious surfaces.</li> <li>3) Limit runoff from the 1-10 Year Storm Event to the Development Limits.</li> </ol>																								
<p><b>Site Data:</b></p> <ul style="list-style-type: none"> <li>Site Elevation: +123.45</li> <li>Collection Factor: 1.00</li> <li>Peak Type: 100mm</li> <li>Peak System: 100mm</li> <li>Peak Size: 100 mm</li> </ul>																								
<p><b>Pre-Development Catchment Area</b></p> <table border="1"> <tr><th>Area</th><th>C Value</th></tr> <tr><td>Roof Area (Impervious)</td><td>200 m² / 0.05</td></tr> <tr><td>Hardscape Area (Impervious)</td><td>400 m² / 0.05</td></tr> <tr><td>Landscape Area (Pervious)</td><td>100 m² / 0.20</td></tr> <tr><td>Natural Woodlands (Pervious)</td><td>200 m² / 0.64</td></tr> <tr><td><b>Total</b></td><td><b>900 m²</b></td></tr> </table>				Area	C Value	Roof Area (Impervious)	200 m² / 0.05	Hardscape Area (Impervious)	400 m² / 0.05	Landscape Area (Pervious)	100 m² / 0.20	Natural Woodlands (Pervious)	200 m² / 0.64	<b>Total</b>	<b>900 m²</b>									
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<p><b>Post-Development Catchment Area</b></p> <table border="1"> <tr><th>Area</th><th>C Value</th><th>% Contributed</th></tr> <tr><td>Roof Area (Impervious)</td><td>100 m²</td><td>1.00</td></tr> <tr><td>Hardscape Area (Impervious)</td><td>200 m²</td><td>0.05</td></tr> <tr><td>Landscape Area (Pervious)</td><td>200 m²</td><td>0.05</td></tr> <tr><td>Landscape Area (Pervious) - Truncated</td><td>200 m²</td><td>0.00</td></tr> <tr><td>Natural Woodlands (Pervious)</td><td>200 m²</td><td>0.00</td></tr> <tr><td><b>Total</b></td><td><b>700 m²</b></td><td><b>0.78</b></td></tr> </table>				Area	C Value	% Contributed	Roof Area (Impervious)	100 m²	1.00	Hardscape Area (Impervious)	200 m²	0.05	Landscape Area (Pervious)	200 m²	0.05	Landscape Area (Pervious) - Truncated	200 m²	0.00	Natural Woodlands (Pervious)	200 m²	0.00	<b>Total</b>	<b>700 m²</b>	<b>0.78</b>
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<p><b>Retention/Retention Volume</b></p> <p>Retention Volume Required = 30 mm</p> <p>Retention Area = 2000 m²</p> <p>Storage Volume Required = 30 m³</p> <p>Total Volume to be Captured = 70 m³</p>																								
<p><b>Retention Area</b></p> <p>Retention Volume Required = 30 mm</p> <p>Landscape Area = 370 m²</p> <p>Storage Volume Required = 30 m³</p> <p>Hardscape (Directed to Landscape) = 7 m²</p> <p>Off-Road = 0 m²</p> <p>Landscape Volume Retention Capacity = 0.00</p> <p>Retention (Total) = 0.00</p> <p>Water that Falls on Landscape is Captured and Stored by Landscape</p>																								
<p><b>Water Quality Treatment</b></p> <p>Objectives - Treat the first 20mm of rain in 24 hours from all pervious and impervious surfaces. An oil and grit separator will be installed to treat runoff from the travelled areas.</p>																								
<p><b>Post-Development Release Rate</b></p> <table border="1"> <tr><th>Area of Site</th><th>C Value</th><th>Runoff Rate (mm/hr)</th></tr> <tr><td>Roof Area (Impervious)</td><td>0.05</td><td>6.00</td></tr> <tr><td>Hardscape Area (Impervious)</td><td>0.05</td><td>6.00</td></tr> <tr><td>Landscape Area (Pervious)</td><td>0.20</td><td>2.40</td></tr> <tr><td>Natural Woodlands (Pervious)</td><td>0.64</td><td>0.96</td></tr> </table>				Area of Site	C Value	Runoff Rate (mm/hr)	Roof Area (Impervious)	0.05	6.00	Hardscape Area (Impervious)	0.05	6.00	Landscape Area (Pervious)	0.20	2.40	Natural Woodlands (Pervious)	0.64	0.96						
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SEE DRAWING KEY FOR GENERAL NOTES  
 SEE DRAWING R-1 FOR ROADWORKS NOTES  
 SEE DRAWING SERV FOR WATERWORKS NOTES  
 SEE DRAWING SERV FOR STORM & SANITARY NOTES

CONTRACTOR TO VERIFY & LOCATE  
 EXISTING MAINS & SERVICE  
 CONNECTIONS & NOTIFY THE  
 ENGINEER OF ANY DISCREPANCIES  
 PRIOR TO BEGINNING CONSTRUCTION

**ROADWORKS NOTES**

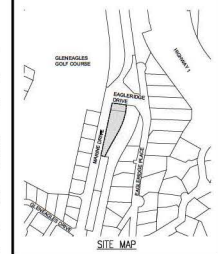
1. ALL ROADWORKS CONSTRUCTION AND METHODS MUST BE IN ACCORDANCE WITH MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD).
2. PAVING CAN ONLY PROCEED IN THE PRESENCE OF THE ENGINEER OR DESIGNATED INSPECTORS.
3. CONTRACTOR TO SUBMIT SEME TEST AND SOURCE DATA FOR AGGREGATES AND MIX DESIGN FOR ASPHALT AT BEGINNING OF CONTRACT FOR REVIEW AND APPROVAL.
4. ALL LOOSE AND ORGANIC MATERIAL TO BE EXCAVATED FROM ROADWAY. ALL SUBGRADES TO BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY. SUBGRADE TO BE INSPECTED BY ENGINEER PRIOR TO PLACEMENT OF GRAVEL. SUBGRADE ANY WATER SATURATED SUBGRADE TO BE PLACED ON GRAVEL. GRAVEL AND GRADE RESTORED WITH GRANULAR SOILS COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
5. THE BASE AND SUBBASE MATERIALS SHALL BE PROPERLY PLACED AND COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR DRY DENSITY (ASTM D1557).
6. THE CONTRACTOR WILL GIVE ENGINEER THEN D.W.V. 48 HOURS NOTICE PRIOR TO SUBGRADE PROOF ROLL, BASE COMPACTION AND PAVING.
7. THE CONTRACTOR MUST NOTIFY ENGINEER 48 HOURS PRIOR TO STARTING CONSTRUCTION TO ESTABLISH AN INSPECTION SCHEDULE.
8. A PORTION OF THE CONTRACT DOCUMENTS IS INCLUDED BY REFERENCE. COPIES OF THESE DOCUMENTS HAVE BEEN REFERENCED IN THE TENDER PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT CURRENT RELEVANT COPIES OF ALL DRAWINGS AND CONTRACT DOCUMENTS ARE FORWARDED TO SUPERVISOR, ESTIMATING AGENCIES, SUBCONTRACTORS, SUPERINTENDENTS, ESTIMATORS, PROJECT MANAGERS, SITE STAFF AND ANY OTHER RELEVANT PARTIES. CONTRACTOR CONFIRMS THEY HAVE REVIEWED SAME PRIOR TO SUBMITTING TENDER.
9. ALL CUTS IN EXISTING ASPHALT REQUIRED FOR CONSTRUCTION SHALL BE VERTICAL, FULL DEPTH, WITH A DIAMOND SAW AND REPLACED TO FULL / DESIGN DEPTH WITH MINIMUM 80MM ASPHALT CONCRETE. FOR MAIN ROADS AND DRIVEWAYS, ASPHALT CONCRETE FOR DRIVEWAYS, FENCES, ETC. ARE TO BE RESTORED TO ORIGINAL CONDITION. FOR SIDEWALKS, BOLLIVARDS, DRIVEWAYS, FENCES, ETC. ARE TO BE RESTORED TO THE SATISFACTION AND APPROVAL OF THE CITY WHEN NO IMPROVEMENT IS PROPOSED UNDER THIS CONTRACT.
10. TOP LIFT OF ASPHALT TO BE MINIMUM 40 mm OR AS NOTED.
11. ALL PAVEMENTS, BOLLIVARDS, DRIVEWAYS, FENCES, ETC. ARE TO BE RESTORED TO ORIGINAL CONDITION WHEN NO IMPROVEMENT IS PROPOSED UNDER THIS CONTRACT. CONTRACTOR TO ROUGHGRADE THE BOLLIVARDS AT THE SAME TIME AS ROAD GRADING.
12. CHANGES IN GRADE TO BE FORMED WITH SMOOTH CURVES.
13. COVERS FOR INSPECTION CHAMBERS AND VALVE RISERS IN DRIVEWAYS SHALL BE SUITABLE FOR TRAVELED AREAS.
14. ALL MAN-HOLE LIDS, VALVE COVERS, CATCHBASIN RIMS AND LIDS OF OTHER STRUCTURES TO BE SET AT FIRST LIFT ROAD ELEVATIONS AND RAISED WHEN FINAL LIFT INSTALLED.
15. ENSURE ALL NEW PAVEMENT WORKS ARE KEYED INTO EXISTING ASPHALT AS PER MMCD STANDARD.



**CREUS Engineering**

Civil Engineers & Project Managers  
 #100 EAST TOWER - 201 BELLARIVE WEST NORTH VANCOUVER BC V8M 1G8  
 PH: 604-447-8076 WEBSITE: WWW.CREUS.CA

PERMIT TO PRACTICE # 1001543



**DRAWING LEGEND**

	EXISTING	PROP.	TO BE REMOVED
LEGAL LINE	---	---	---
EASEMENT	---	---	---
SEWERMAIN	---	---	---
SANITARY	---	---	---
STORM	---	---	---
HYDRO	---	---	---
STREETLIGHT	---	---	---
GAS	---	---	---



client

LPI MANAGEMENT LTD.

project

6085 & 6093 MARINE DRIVE  
 WEST VANCOUVER, BC

title

ROADWORKS  
 MARINE DRIVE  
 PLAN & PROFILE

no.	date	revision	drawn
4	25/10/28	RE-ISSUED FOR DEVELOPMENT PERMIT	AFG
3	25/10/28	REVISED PER DWV COMMENTS	AFG
2	25/07/21	REVISED PER DWV COMMENTS	AFG
1	25/01/28	ISSUED FOR COMBINED REZONING, DEVELOPMENT PERMIT & OCP AMENDMENT	AFG

signature of record: FMC  
 scale: not 1:250 vert 1:50

designed by: AFG  
 file no.: 24167

drawn by: AFG  
 drawing no.:

date: 24/07/17  
 title: R-1

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