

COUNCIL AGENDA

Date: March 9, 2026 Item: 191
 April 13, 2026 PH 4./R-1



4./R-1

DISTRICT OF WEST VANCOUVER
 750 17TH STREET, WEST VANCOUVER BC V7V 3T3

COUNCIL REPORT

Date:	February 17, 2026
From:	Erik Wilhelm, Senior Community Planner
Subject:	Proposed Official Community Plan (OCP) Amendment, Rezoning and Development Permit – Woodcrest Townhomes

RECOMMENDATION

THAT opportunities for consultation on the proposed Official Community Plan amendment, with persons, organizations, and authorities, as outlined in the report dated February 17, 2026, be endorsed as sufficient consultation for purposes of section 475 of the Local Government Act.

RECOMMENDATION

THAT proposed “Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5445, 2026” be read a first time.

RECOMMENDATION

THAT proposed “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5444, 2026” be read a first time.

RECOMMENDATION

THAT proposed “Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5445, 2026” and “Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5444, 2026” be presented at a public hearing scheduled for April 13, 2026, at 5 p.m. in the Municipal Hall Council Chamber and via electronic communication facilities (Zoom meeting platform), and that statutory notice be given of the scheduled public hearing.

RECOMMENDATION

THAT proposed Development Permit No. 23-061 be presented at a public meeting scheduled for April 13, 2026, at 5 p.m. in the Municipal Hall Council Chamber and via electronic communication facilities (Webex video conferencing software), to be held concurrently with the public hearing scheduled for April 13, 2026, at 5 p.m. in the Municipal Hall Council Chamber and via electronic communication facilities (Zoom meeting platform), and that statutory notice be given of the scheduled public meeting.

1.0 Purpose

To present to Council a proposed Official Community Plan (OCP) amendment, a rezoning, and associated development permit for 4430 Woodcrest Road, 4450 Woodcrest Road, 4460 Woodcrest Road and 4504 Woodgreen Drive (**Appendix A**) to facilitate a 37-unit townhouse development (**Appendix B**).

2.0 Legislation/Bylaw/Policy

Provincial Legislation

1. The *Local Government Act* (LGA) requires that a public hearing be held on the proposed OCP amendment and rezoning bylaws, in accordance with Sections 464 through 470.
2. The *Transportation Act* (Section 52) necessitates, that due to the location of the site within 800 metres of a controlled-access highway, the proposed rezoning bylaw be approved by the Ministry of Transportation and Transit (MOTT).

Zoning Bylaw

The site is currently zoned RS10 (Single Family Dwelling Zone 10); accordingly, a rezoning is required to facilitate the proposal (**Appendix C**).

3.0 Council Strategic Objective(s)/Official Community Plan

2024-2025 Council Strategic Plan

The “2024-2025 Council Strategic Plan” generally aims to “Expand a diverse housing supply”. More specifically, objective 2.9 expects to “Expand opportunities for selective small scale infill developments in single family residential zones”.

Official Community Plan

The OCP includes policies to address the housing needs of present and future generations within the community. It identifies “Key Actions” to “expand ‘missing middle’ housing options, like triplex, townhouse and mixed-use, in locations close to transit, shops, and amenities”¹.

For sites that are not within local area planning boundaries, or on sites not specifically identified for change, OCP Policy 2.1.8 enables the consideration of proposals within neighbourhoods for site-specific zoning changes not otherwise supported by policies in the OCP only in limited circumstances by:

- a. Reporting to Council after preliminary application review to allow an early opportunity for public input;

¹ Page 23 of the OCP under “Key OCP Actions”

- b. Considering sites or assemblies that present a degree of physical separation from adjoining single-family dwellings (e.g., adjacent to a green belt, grade change, park, school, or existing multi-family site);
- c. Requiring demonstration of minimal impact to access, traffic, parking and public views in the neighbourhood;
- d. Restricting to one or more a range of low-rise housing types including duplexes, triplexes, rowhouses, townhouses, seniors, rental and apartment buildings to a maximum of three storeys;
- e. Reviewing form and character to support siting and designs that respond and contribute to neighbourhood context and character; and
- f. Ensuring information meetings with public notification prior to formal Council consideration in accordance with District procedures.

Given the location of the development proposal, the proposed development would be considered and reviewed in compliance with OCP policy 2.1.8.

An administrative amendment to the OCP is proposed to place the site within the BF-B 16 “Ground-Oriented Infill Housing” development permit area (**Appendix D**) to regulate the built form and character of the proposal.

4.0 Financial Implications

4.1 Community Amenity Contribution

New developments are anticipated to deliver community amenities related to the impacts of development. The value of the amenity is proportional to the increased potential land use in comparison with existing zoning and land uses on site. District policy defines a range of appropriate amenities, including housing affordability and diversity, childcare and cultural facilities, heritage preservation, public art, parks and the environment.

Consistent with District policy and through a negotiated approach, the applicant offers a voluntary community amenity contribution (CAC) of \$693,000 in cash. District staff consulted with a third-party financial consultant (at the cost of the developer) to determine the voluntary CAC. Staff recommend acceptance of the CAC that would flow into the District’s amenity reserve account(s) to contribute to future amenity projects as determined by Council.

4.2 Infrastructure Upgrades

Staff confirmed that redevelopment of the site will require in-ground servicing infrastructure upgrades and boulevard upgrades (to be paid for by the applicant).² Development cost charges would also be applicable in compliance with the District, Metro Vancouver and TransLink Development Cost Charges Bylaws.

² Provision of the inground infrastructure and boulevard upgrades will be captured within a ‘development covenant’ which must be registered on title before adoption of the rezoning bylaw.

4.3 District Property Disposition

One of the parcels included in the development site is 4430 Woodcrest Road, which is a small³, sloped, treed, and triangular parcel that forms the easternmost portion of the development site (Figure 2). The parcel is District-owned and in isolation, is essentially undevelopable due to its physical/locational constraints. To facilitate the development as proposed, the District would be required to sell 4430 Woodcrest Road to the developer at market value. Based on market appraisal of the property, the District and the applicant will need to enter into a Purchase and Sale Contract to purchase the site for \$650,000. Finalization of the sale would be subject to Council approval of the development application and satisfaction of all statutory requirements of the *Community Charter* including public notification.

5.0 Background

5.1 Previous Decisions

OCP policy 2.1.8 directs staff to report to Council on development proposals following a preliminary review, providing an early opportunity for public input. In keeping with this policy, prior to a formal rezoning submission, Council considered the initial proposal on February 14, 2022 and received the report for information which facilitated advancement of the proposal towards a formal rezoning application.

5.2 History

Not Applicable.

6.0 Analysis

6.1 Context

The subject site is comprised of four legal lots totalling approximately 4,964 m² (1.27 acres). The site is located within proximity to the westbound exit of the Upper Levels Highway and within walking distance to Caulfeild Shopping Centre, Rockridge Secondary School, and Cypress Falls Park (Figure 1). There is also a pedestrian underpass immediately west of the development site that travels under the Upper Levels Highway linking Woodgreen Drive and Caulfeild Drive. The lands south of the site are controlled by the Ministry of Transportation and Transit (MOTT) and

³ 4430 Woodcrest Road is approximately 3,641 sq. ft.

provide the right-of-way for the Upper Levels Highway.
The existing condition of each of the four parcels is shown in Figure 2 and



Figure 1 – Context Map (Upper Caulfeild Area)

described as follows:

- **4504 Woodgreen Drive:** Single-family dwelling (built circa 1959), tennis court, swimming pool with vehicular access at the northwest corner off Woodgreen Drive.
- **4460 Woodcrest Road:** Single-family dwelling (built circa 1962), with vehicular access from the north off Woodcrest Road.
- **4450 Woodcrest Road:** Single-family dwelling (built circa 1959), with vehicular access from the north off Woodcrest Road.
- **4430 Woodcrest Road:** Vacant lot currently owned by the District. No current vehicular access provided (due to slope and trees onsite).

Figure 2 also provides an indication of the sloped condition of the site with Woodcrest Road sitting at a higher elevation with numerous coniferous/boulevard trees on the periphery of the site within the road right-of-way. The site is located adjacent to a bus stop along route 253⁴ with only three direct neighbours to the north (across the street).

⁴ The 253 bus serves the Caulfeild area and typically runs every 30 minutes during peak times.

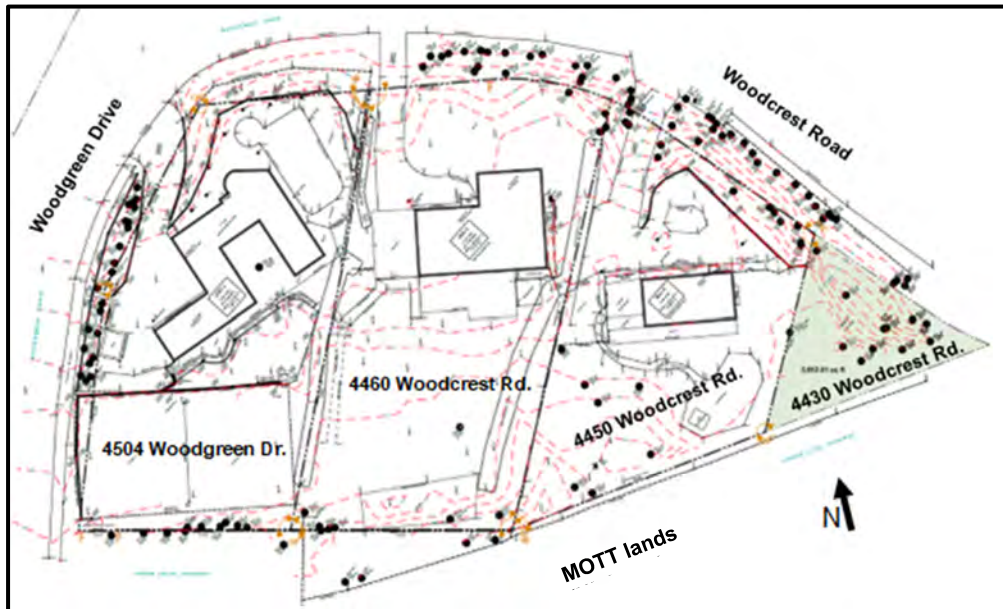


Figure 2 – Site map of existing features and slope

The site is somewhat isolated from the surrounding single-family neighbourhood given the sloping nature of the site (with Woodcrest Road at a higher elevation), the adjacent collector roads (Woodgreen Drive to the west and Woodcrest Road to the north) and the Upper Levels Highway to the south.

6.2 Proposal

Symphony Group of Companies has submitted a development proposal to redevelop the site with 37 townhouse units. The site plan is shown in Figure 3 and the architectural plans and landscape plans are attached within **Appendix E**. Several renderings are provided within Figures 4, 5, 6 and 7. According to the developer, the objective is to create a development that responds to the surrounding neighbourhood context and character while providing needed “missing middle” housing as identified in the OCP.



Figure 3 – Site Plan/Landscape Plan

The following is a summary of the development proposal:

- 37 townhouse units;
- An approximate floor area ratio (FAR) of 1.05;
- 4 townhouse buildings (with rooftop decks);
- 1 amenity building (with rooftop deck);
- Approximately 5,218 m² (56,166 sq. ft.) of floor space;
- Approximate site coverage of 40%;
- 75 parking stalls (68 resident and 7 visitor stalls);
- 116 secure bike parking stalls;
- 1 level of covered/underground parking (accessed from the southwest corner off Woodgreen Drive);
- Landscaped common and play area on central portion of site (with elevator room from parkade level);
- Secondary indoor private gym area (approximately 770 sq. ft.);
- New walkway located primarily on MOTT lands south of the site (providing a pedestrian linkage between Woodcrest Road and Woodgreen Drive);
- Street level pedestrian entrances to townhouse units fronting Woodcrest Road; and
- New sidewalk adjacent to the site along Woodcrest Road.



Figure 4 – Rendering of Building 1 (facing Woodcrest Road with portion of amenity building shown)



Figure 5 – Rendering of Building 2 (facing Woodcrest Road)



Figure 6 – Rendering of amenity building (view from courtyard)



Figure 7 – Rendering of elevator ‘pop-up’ room within courtyard

The townhouse proposal features a contemporary West Coast–inspired architectural form, defined with rectilinear massing, glazing, and the use of natural materials. Stepped building edges and upper-level decks promote indoor–outdoor living while reducing the overall massing and perceived scale of each building.

A generously landscaped internal courtyard serves as a central gathering and amenity space for residents. The landscape strategy emphasizes the retention of existing coniferous trees along the site perimeter and introduces layered planting, small trees, and hedging along the street frontage to soften the built form and enhance the public pedestrian experience.

Overall, the integration of natural materials, landscaping, and articulated building massing aligns with the intended contemporary West Coast multi-family design character.

6.3 Transportation and Parking

The applicant provided a Traffic Impact Assessment (TIA). As outlined in the next two sections, the assessment report provides a review of the trip generation, parking supply and parkade entrance for the proposed 37-unit townhouse development. Although not triggered by the development proposal, the TIA recognizes that the intersection of Westport Road and Northwood Drive (located approximately 440 m. west of the development site) could be considered for signalization by 2028⁵; however, that intersection is the responsibility of the MOTT⁶. In summary, staff have reviewed the TIA and are satisfied with the findings.

⁵ Primarily due to queuing delays for westbound vehicles turning south during peak AM and PM hours.

⁶ Any intersection upgrades would need to be reviewed and approved by the MOTT.

Projected Traffic Generation and Parking Supply

The proposed development is anticipated to generate 12 and 16⁷ vehicle trips in the AM and PM peak hours (which equates to approximately 1 vehicle trip every 5 minutes in the AM peak hour and approximately 1 vehicle trip every 4 minutes in the PM peak hour). Besides the new sidewalk and boulevard along Woodgreen Drive and Woodcrest Road, there are no road upgrades proposed. As stated in the TIA, “The addition of development-related traffic results in minimal to no change to traffic operations as measured by capacity, delay, and queues on opening day for the study intersections.”

The development proposal includes a total of 75 parking spaces (68 for residents and 7 for visitors) and 116 secure bicycle stalls within the single level parkade. The proposed parking equates to 2.02 parking stalls per unit (including visitor stalls). The TIA confirms that the proposal meets and exceeds the District Zoning Bylaw requirements and states, “The proposed parking supply for the development satisfies the bylaw and the recommended requirements for all user types.”

Parkade Entrance

The TIA addressed the location of the parkade entrance at the southwest portion of the site where the roadway turns (northward when travelling eastbound on Westport Road or westward when travelling southbound on Woodgreen Drive – see Figure 8). Given the provided site lines, signage and required speeds, the TIA confirms that the proposed parkade entrance is suitable and safe.

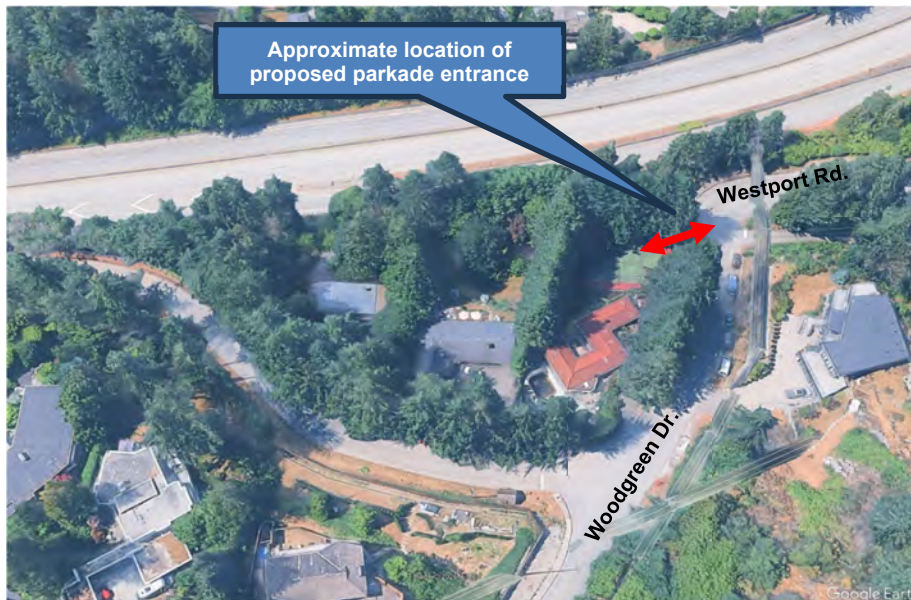


Figure 8 – Aerial of site indicating parkade entrance and nearby corner

⁷ ‘Net new trips’ for a total of 15 vehicle trips in the AM and 19 in the PM (given that the previous 3 houses generated an estimated 3 vehicle trips in the AM and PM peak hours).

6.4 Trees

The applicant submitted an initial arborist report (2022) which determined 178 trees out of 219 assessed trees were recommended for removal. Following municipal review and submission of a subsequent arborist report (2024) an additional 66 trees, located primarily along the perimeters of Woodcrest Road and along the perimeter of Woodgreen Drive, were determined to be retainable due to the revised sidewalk specification. In total 112 trees are recommended for removal. As stated in the arborist report:

- 7 are dead snags.
- All the trees on-site (that are within and on/or near the property lines) will have to be removed to allow for construction and installation of the parkade and landscaping.
- The trees along the Woodgreen Drive and Woodcrest Road boulevards are required to be removed for sidewalk and boulevard enhancements along the east, north and west perimeters (most have been topped multiple times in the past and are in poor to fair condition, the majority of which contain co-dominant stem defects).

The Tree Management Plan which forms part of the arborist report is included within Development Permit 23-061 (DP23-061) which indicates the trees for removal and retention. DP23-061 requires that the development activities and tree removal/retention must comply with the recommendations of the arborist report. As a condition of DP23-061, prior to building permit issuance, the developer must receive approval of a wildfire hazard development permit which ensures the building materials and landscaping onsite is wildfire resistant and compliant with the guidelines.

6.5 Committee Review

Design Review Committee

Prior to creation of the Planning Committee, the Design Review Committee (DRC) reviewed the design and architecture of the development application. The initial development proposal was reviewed by the DRC on July 20, 2023. The DRC required resubmission of the proposal to address/consider the following items:

- Retention of the eastern mature trees and the trees along Woodcrest. Work with the District staff for possible retention of peripheral boulevard trees.
- Confirm soil volume for the proposed landscaping.
- Improve access from the parking to individual units.
- Improve livability within the units and on site with additional open space between buildings.
- Provide larger site cross sections that includes Highway 1.
- Provide shadow studies.
- Higher quality exterior building materials.

The applicant amended the proposal to address the committee's comments, and the proposal was assessed a second time by the DRC on September 21, 2023. The DRC supported the proposal following further design development of the following items:

- To improve livability of units to provide direct daylight to all interior spaces that could be used as a bedroom.
- Confirm commitment to retain boulevard trees as proposed along the north side of site.

Planning Committee

The proposal was reviewed by the Planning Committee on November 20, 2024, and the committee provided the following resolution:

THAT the Planning Committee support the Woodcrest Townhomes application including the architectural form and density presented within the application for the site and within the neighbourhood subject to further review of the following items by staff:

1. Careful consideration to ensure that residential units are designed to achieve adequate noise attenuation;
2. Design development to consider improvements to the circulation and access for the underground parking configuration;
3. Design development to consider planting and/or design considerations to effectively screen the development from the upper levels highway; and
4. Consideration for potential improvement to the intersection from the highway leading north to the Cypress Park Estates neighbourhood.

The final proposal, which is included within proposed DP23-061 attached as **Appendix E**, satisfactorily addresses DRC and Planning Committee comments, in staffs' opinion, to ensure boulevard tree retention, livability, light penetration, screening, noise attenuation, and circulation near and into the parkade.

6.6 Compliance with OCP Policy 2.1.8

OCP policy 2.1.8 allows for consideration of proposals within neighbourhoods for site-specific zoning changes that are not otherwise supported by policies in this plan only in limited circumstances. The following provides an overview of each policy (which is italicized) and the proposal's compliance with the policy:

a. Reporting to Council after preliminary application review to allow an early opportunity for public input. Council reviewed the initial proposal on February 14, 2022, and received the staff report as information.

b. Considering sites or assemblies that present a degree of physical separation from adjoining single-family dwellings (e.g., adjacent to a green belt, grade change, park, school, or existing multi-family site). The

development site sits at a lower grade than the surrounding single-family sites and is surrounded by roads and Highway 1 to the south. Essentially, the site is a standalone site with no direct neighbours and exhibits the necessary physical separation.

c. Considering sites or assemblies that enhance neighbourhood access to daily needs or connect the active transportation network. The proposal includes new sidewalk along Woodcrest Road where there currently is none. The development also proposes a trail/boardwalk connection on the southern portion of the site allowing linkage from Woodgreen Drive near the pedestrian underpass and the eastern edge of the site along Woodcrest Road. Overall, the location of the site (within walking distance of Cypress Falls Park, Caulfeild Shopping Centre and Rockridge Secondary) provides easy access to local amenities.

d. Requiring demonstration of minimal impact to access, traffic, parking and public views in the neighbourhood. The TIA confirmed that the development does not pose any traffic concerns and provides acceptable parking for the development. The location and elevation of nearby single-family dwellings northwest and north of the site result in the development having negligible impacts on views. Additionally, this condition is enhanced with the commitment to retain trees on the perimeter of the site to keep retain existing views.

e. Restricting to one or more of a range of low-rise housing types including duplexes, triplexes, rowhouses, townhouses, seniors, rental and apartment buildings to a maximum of three storeys. The proposed low-rise housing type (townhouse) complies with the policy noting that the proposal includes four-storey townhouses to be built over the parkade along Woodcrest Road (See Figure 9). Recognizing the site topography and configuration, the proposal, in staffs' opinion, complies with this policy direction given that the proposal provides a three-storey interface to the street while providing infill/missing middle housing as directed within key actions of the OCP. The proposed DP23-061 will ensure a three-storey height is maintained along the perimeter of the site.

f. Reviewing form and character to support siting and designs that respond and contribute to neighbourhood context and character. The development proposal exhibits a design that will complement the existing neighbourhood and not negatively impact the existing context and character of the area. The parkade entrance and the amenity building will provide an attractive western entrance and the townhouses on the northern portion of the site will positively contribute to the streetscape with front doors onto the new sidewalk along Woodcrest Road.

g. Ensuring information meetings with public notification prior to formal Council consideration in accordance with District procedures. The preliminary public consultation meeting held by the developer on September 9, 2021, complied with all public notification requirements.

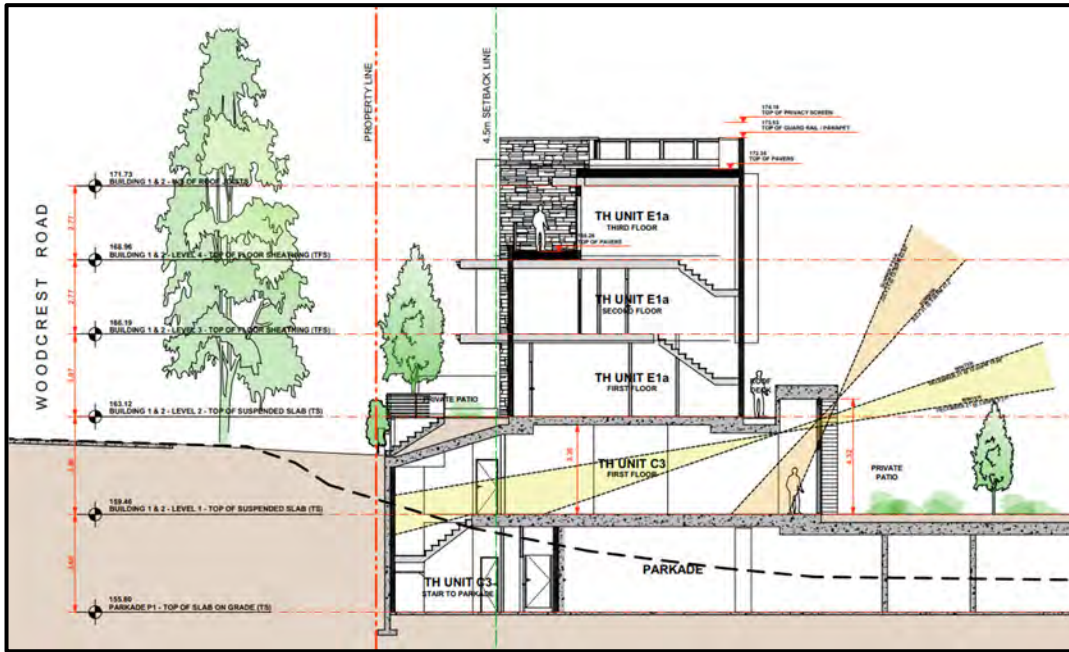


Figure 9 – Site section showing Woodcrest Road interface and storeys above parkade

6.7 Climate Change & Sustainability

The proposal would deliver a “missing middle” development recognized as a sustainable and efficient land use within the OCP. The proposed infill housing proposal would allow for the reuse of land with a modest number of dwelling units within proximity to local amenities that integrates with the existing neighbourhood and utilizes existing infrastructure such as roads, sewer, stormwater drainage and water connections.

In compliance with the District’s Building Bylaw No. 5340, 2025 and the Sustainable Building Policy, the development will be required to obtain Step 4 + ZCSC EL-3 (Part 3 building) of the Zero Carbon Step Code.

6.8 Public Engagement and Outreach

Public Information Meetings

Prior to formal submission, the applicant held a preliminary public consultation meeting to gather feedback from the public on September 9, 2021. At that time, the development proposal did not include 4430 Woodcrest Road and was comprised of 44 townhouse units with an approximate FAR of 1.2. The developer’s summary of that meeting attended by 18 members of the public is provided within **Appendix F**.

Subsequently, to address comments received at the preliminary public consultation meeting, the applicant reduced the scale of the proposal to 37 townhouses units and a FAR of 1.05 and introduced the potential inclusion of 4430 Woodcrest Road (the District-owned parcel).

Upon formal submission of the rezoning application, the applicant held another public information meeting in compliance with the Development Procedures Bylaw on March 14, 2024. The developer’s summary of that meeting and feedback from an online questionnaire completed by 72 respondents is attached as **Appendix G**. Following the meeting, Council received numerous emails from the public expressing their non-support for the proposal, citing traffic, safety, lack of parking (on and off-site), view concerns and primarily that the scale of the development and townhouses do not suitably ‘fit’ this area of Cypress Park Estates.

Public Hearing and Notification

In compliance with the LGA and the Development Procedures Bylaw the proposed bylaws are subject to a public hearing. Notice of the public hearing will be given in accordance with LGA requirements and District procedures should the proposal advance.

Signage

The applicant has already installed a development information sign in front of the development site. Should the proposal advance, the applicant will be required to update the sign with particulars about the public hearing/meeting.

Website

In alignment with current practice, a description of the proposal and current project plans are available online and should the proposal advance, applicable dates will be updated.

6.9 Conditions Precedent to Adoption

Prior to adoption of the bylaws and approval of the development permit, the following requirements must be met:

- Payment of the community amenity contribution;
- Approval of the Zoning Bylaw amendment by MOTT; and
- Registration of a “development covenant” which is required to ensure the developer pays for and completes required infrastructure and boulevard upgrades.

7.0 Options

7.1 Recommended Option

Council give first reading to the proposed bylaws and set a date for a public hearing and concurrent public meeting.

7.2 Considered Options

Council may:

- a) give first reading to the proposed bylaws and set an alternative date (to be specified) for a public hearing and concurrent public meeting; or
- b) defer consideration of the proposal pending receipt of additional information (to be specified) to assist in the consideration of the application; or
- c) reject the application.

8.0 Conclusion

Staff have completed their assessment of the application and determined that the proposal is appropriate and supportable based on relevant OCP policy. The project is generally consistent with the “Ground-Oriented Infill Housing” Development Permit Area guidelines, aligns with the intent of OCP Policy 2.1.8, and supports Council’s strategic objective to “expand a diverse housing supply.” The proposal also represents a suitable missing-middle housing option within the Cypress Park Estates neighbourhood, within walking distance of the Caulfeild Shopping Centre, Rockridge Secondary School, and Cypress Falls Park, and is well served by transit and highway access.

Subject to public input, staff recommends that the proposed bylaws be given first reading and a date for a public hearing and concurrent public meeting be scheduled.

Author: 

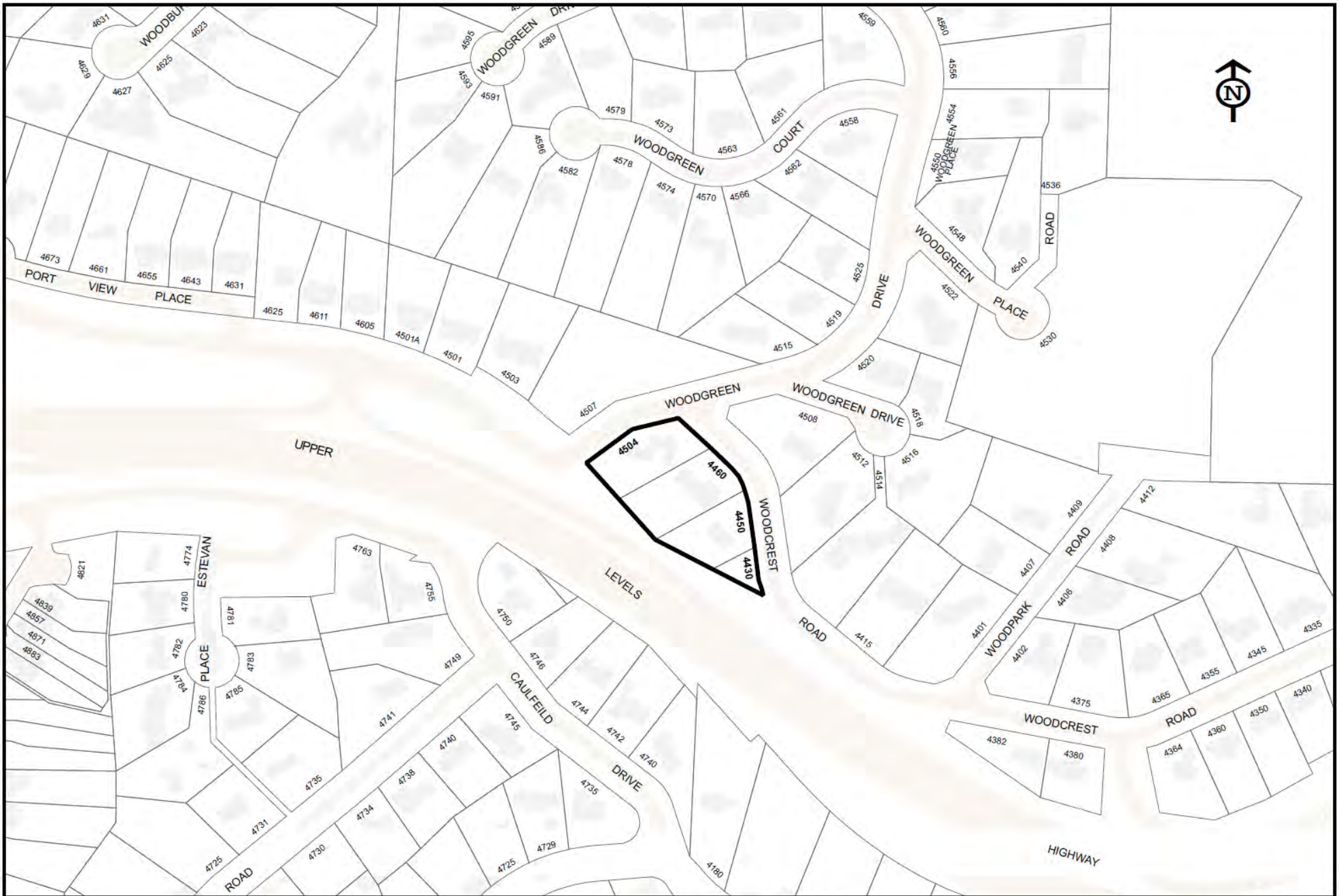
Erik Wilhelm, Senior Community Planner

Concurrence: 

Michelle McGuire, Senior Manager of Planning and Urban Design

Appendices:

- A: Context Map
- B: Project Profile
- C: Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5444, 2026
- D: OCP Bylaw No. 4985, 2018, Amendment Bylaw No. 5445, 2026
- E: Development Permit No. 23-061 (with schedules attached)
- F: Preliminary Public Information Meeting Summary (from applicant [2021])
- G: Public Information Meeting and Questionnaire Summary (from applicant [2024])



CONTEXT PLAN

TITLE: 4504 Woodgreen Dr., 4460,4450,4430 Woodcrest Rd.

DATE: Feb. 17, 2026

REV: 0

FILE:

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Appendix B – Project Profile

Project:	Woodcrest Townhomes
Application:	File No. and Development Permit No. 23-061
Applicant:	Symphony Group of Companies
Designer:	Siegrist Architecture
Landscape Designer:	Perry + Associates Landscape Architecture
Property Addresses:	4430 Woodcrest Road, 4450 Woodcrest Road, 4460 Woodcrest Road and 4504 Woodgreen Drive
Existing Zoning:	Single Family Dwelling Zone 10 (RS10)
Proposed Zoning:	Comprehensive Development Zone 91 (CD91)
Site Area:	4,964 m ² (1.27 acres)
Primary OCP Policies:	OCP Policy 2.1.8
Design Guidelines:	“Ground-Oriented Infill Housing” DPA
Proposal:	To rezone the site to allow for a 37-unit townhouse development (with four townhouse buildings and one amenity building)

Particulars	Proposed	Notes
Floor Area Ratio (FAR)	1.05	
Site Coverage	40%	Parkade will cover majority of site, yet buildings will only cover 40% of site (and there is considerable planting above the parkade between buildings and front yards).
Building Height	Varies	No buildings higher than approx. 39 ft. from street level along Woodcrest Road. Allowing floor to ceiling heights of approx. 9.1 ft per floor (and 10.1 ft ceiling heights for the main floor of each unit).
Number of Storeys	4 (above basement parkade)	See above.
Net Floor Area	5,217.9 m ² (56,166 sq. ft.)	Parkade and open balconies not included.
Number of Units	37	Units range from 1,678 sq ft. to 1,716 sq ft.
Ownership Model	Fee simple ‘market’ units	Strata ownership
Setbacks		Stated minimum setbacks
West Property Line	4.5 m (14.76 ft.)	Adjacent to Woodgreen Drive
South Property Line	2.9 m (9.51 ft.)	Adjacent to Upper Levels Highway
North Property Line	4.8 m (15.75 ft.)	Adjacent to Woodcrest Road
Parkade/Accessory Structures	0 m (0 ft.)	e.g. parkade, retaining walls and stairwells
Parking		
Residential:	68	All stalls within parkade which exceeds Zoning Bylaw standard (of 1.5 parking spaces per unit for ground-oriented units).
Visitor	7	Represents approximately 0.19 visitor stalls per unit and deemed sufficient within TIA.
Bicycle Parking/Storage:	116	Bicycle storage could also occur within units or within private courtyards (for units with amenity space fronting the courtyard).
Electric Vehicle (EV) Charging	Level 2 Charging (240 volt)	All residential stalls will have charging facilities.

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District of West Vancouver

**Zoning Bylaw No. 4662, 2010,
Amendment Bylaw No. 5444, 2026**

(4430 Woodcrest Road, 4450 Woodcrest Road, 4460 Woodcrest Road and 4504
Woodgreen Drive)

Effective Date:

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5444, 2026

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District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5444, 2026

A bylaw to property at 4430 Woodcrest Road, 4450 Woodcrest Road, 4460 Woodcrest Road and 4504 Woodgreen Drive for a housing development to address the missing middle.

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, 4767, 4787, 4788, 4784, 4772, 4791, 4805, 4809, 4828, 4854, 4873, 4866, 4895, 4839, 4898, 4927, 4944, 4905, 4974, 4967, 4982, 4962, 4928, 4992, 5001, 5021, 5024, 5028, 5009, 4938, 5044, 5055, 5051, 5068, 5065, 5087, 5069, 5110, 5106, 5132, 5161, 5160, 5013, 5122, 5155, 5169, 5192, 5175, 5171, 5201, 5230, 5081, 5223, 5270, 5281, 5321, 5328, 5338, 5336, 5351, 5293, 5347, 5339, 5206, 5361, 5356, 5353, 5279, 5380, 5379, 5254, and 5387.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an amendment to the Zoning Bylaw to allow a 37-unit townhouse development at 4430 Woodcrest Road, 4450 Woodcrest Road, 4460 Woodcrest Road and 4504 Woodgreen Drive;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5444, 2026.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Adds the CD91 Zone and Rezones the Site

- 3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 600 (Comprehensive Development or site specific zones) is hereby amended by adding 691 as the CD91 – Comprehensive Development Zone 91 (4430 Woodcrest Road, 4450 Woodcrest Road, 4460 Woodcrest Road and 4504 Woodgreen Drive), as set out in **Schedule A** attached to this bylaw.
- 3.2 The Lands shown shaded on the map attached as **Schedule B** to this bylaw are rezoned from RS10 – Single Family Dwelling Zone 10 to Comprehensive Development Zone 91 (4430 Woodcrest Road, 4450 Woodcrest Road, 4460 Woodcrest Road and 4504 Woodgreen Drive), as set out in **Schedule A** attached to this bylaw.

Part 4 Amends the Table of Contents

- 4.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 100 Table of Contents is amended accordingly.

Part 5 Amends the Zoning Maps

- 5.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2 Zoning Maps is hereby amended by changing the zoning on the Lands as shown shaded on the map in **Schedule B** attached to this bylaw.

FROM: RS10 – Single Family Dwelling Zone 10

TO: CD91 – Comprehensive Development Zone 91 (4430 Woodcrest Road, 4450 Woodcrest Road, 4460 Woodcrest Road and 4504 Woodgreen Drive)

Schedules

Schedule A – CD91 – Comprehensive Development Zone 91 (4430 Woodcrest Road, 4450 Woodcrest Road, 4460 Woodcrest Road and 4504 Woodgreen Drive)

Schedule B – Amendment to Zoning Maps

READ A FIRST TIME on

PUBLICATION OF NOTICE OF PUBLIC HEARING on

PUBLIC HEARING HELD on

READ A SECOND TIME on

READ A THIRD TIME on

APPROVED by Ministry of Transportation and Transit on

ADOPTED by the Council on

Mayor

Corporate Officer

Schedule A – CD91 – Comprehensive Development Zone 91 (4430 Woodcrest Road, 4450 Woodcrest Road, 4460 Woodcrest Road and 4504 Woodgreen Drive)

691 CD91 (4430 Woodcrest Road, 4450 Woodcrest Road, 4460 Woodcrest Road and 4504 Woodgreen Drive)

AMENDING
BYLAW

SECTION REGULATION

691.01 Permitted Uses

- (1) accessory buildings, structures and uses
- (2) child care
- (3) community care
- (4) home based businesses
- (5) townhouses

691.02 Floor Area Ratio

- (1) A maximum of 1.05 FAR is permitted
- (2) For clarity, FAR shall be calculated using Section 120.21 of the Zoning Bylaw

691.03 Conditions of Use

- (1) Maximum number of dwelling units: 37
- (2) The site is limited to 1 amenity building, 4 townhouse buildings and 1 level of parkade

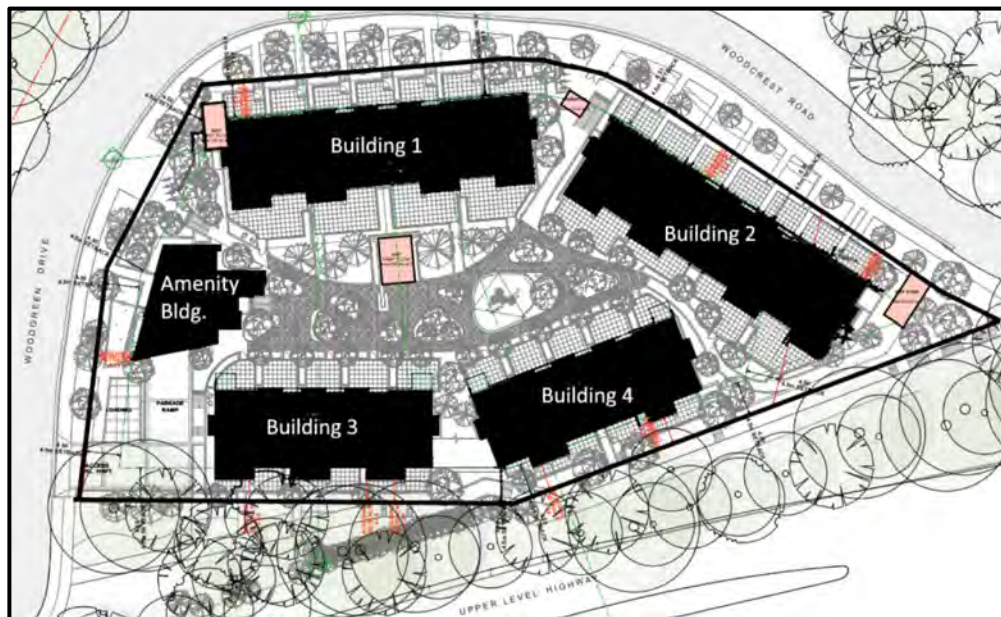
691.04 Setbacks

Minimum:

- (1) Minimum for all buildings except accessory buildings and structures:
 - (i) West Property Line (Woodgreen Drive): 4.5 m
 - (ii) South Property Line (Upper Levels Highway): 2.9 m
 - (iii) North Property Line (Woodcrest Road): 4.8 m
- (2) Parkade, accessory buildings and structures: 0 m

691.05 Building Height

- (1) Buildings 1 and 2 (including rooftop deck railings) are limited to a maximum height of 570 ft. above sea level (ASL)
- (2) Building 3 and 4 (including rooftop deck railings) are limited to a maximum height of 558 ft. ASL
- (3) The amenity building (including all architectural features) is limited to a maximum height of 556 ft. ASL
- (4) Rooftop privacy screens shall not be included within the height calculation

**691.06 Number of Storeys**

- (1) Maximum: 4 (above parkade level)

691.07 Site Coverage

- (1) Maximum: 40%
- (2) For clarity, the site coverage does not include the parkade

691.08 Off-Street Parking

- (1) A minimum total of 75 parking stalls shall be provided, and sizing of stalls and drive aisles must comply with Section 142.04 of the Zoning Bylaw
- (2) Provision of parking for persons with disabilities shall comply with Section 142.09 of the Zoning Bylaw

- (3) At least 7 visitor parking stalls shall be provided
- (4) Electric Vehicle Charging Infrastructure must be provided in compliance with Section 142.10 of the Zoning Bylaw

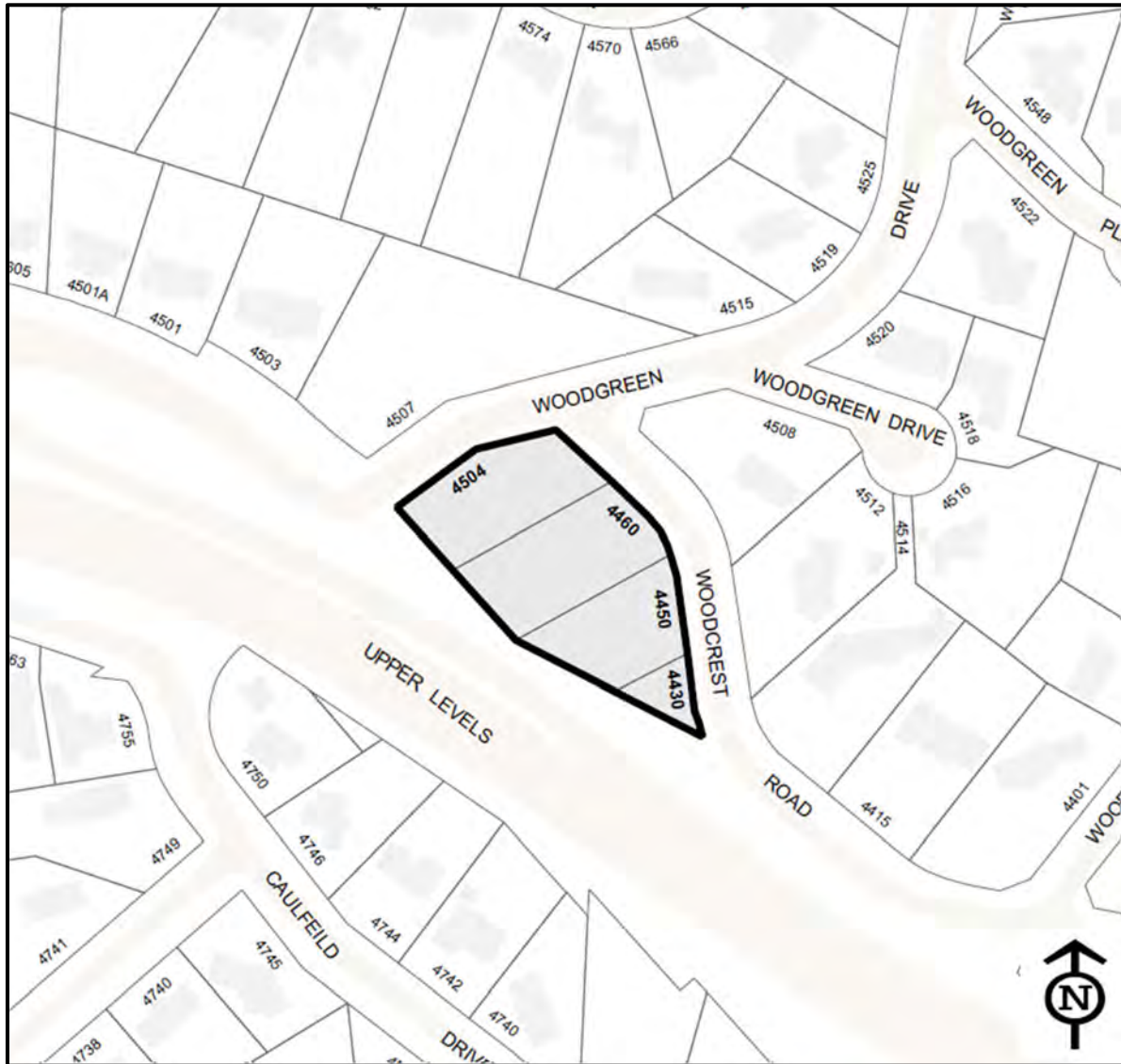
691.09 Bicycle Parking

- (1) Bicycle Parking shall be provided in compliance with Section 143 of the Zoning Bylaw

Schedule B – Amendment to Zoning Maps

Amendment to Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2, Zoning Maps.

Sketch plan showing the area to be rezoned to CD91:



4430 Woodcrest Road, 4450 Woodcrest Road, 4460 Woodcrest Road and 4504 Woodgreen Drive

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District of West Vancouver

**Official Community Plan Bylaw No. 4985, 2018,
Amendment Bylaw No. 5445, 2026**

Effective Date:

Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5445, 2026

Table of Contents

Part 1	Citation.....	1
Part 2	Severability	1
Part 3	Amends Schedule ii Area-Specific Policies & Guidelines	2
	Schedule A – Development Permit Area Designation BF-B16 Ground-Oriented Infill Housing.....	3

District of West Vancouver

Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5445, 2026

A bylaw to amend the Official Community Plan to place a development site within a development permit area to regulate the form and character of the development.

Previous amendments: Amendment bylaws 5008, 5045, 5054, 5057, 5064, 5074, 5076, 5120, 5135, 5128, 5172, 5321, 5222, 5280, 5301, 5335, 5291, 5292, 5362, 5205, 5355, and 5406.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an amendment to the Official Community Plan to allow for the redevelopment of lands at 4430 Woodcrest Road, 4450 Woodcrest Road, 4460 Woodcrest Road and 4504 Woodgreen Drive;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5445, 2026.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Amends Schedule ii Area-Specific Policies & Guidelines

3.1 Schedule ii Area-Specific Policies & Guidelines to Official Community Plan Bylaw No. 4985, 2018 is amended as follows:

3.1.1 Amending the “Ground-Oriented Infill Housing Development Permit Area Designation BF-B16” by adding a map to the section as illustrated in **Schedule A** attached to this bylaw.

Schedules

Schedule A – Development Permit Area Designation BF-B16 Ground-Oriented Infill Housing

READ A FIRST TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on

PUBLICATION OF NOTICE OF PUBLIC HEARING on

PUBLIC HEARING HELD on

READ A SECOND TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on

READ A THIRD TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on

ADOPTED by the Council (MAJORITY VOTE IN THE AFFIRMATIVE) on

Mayor

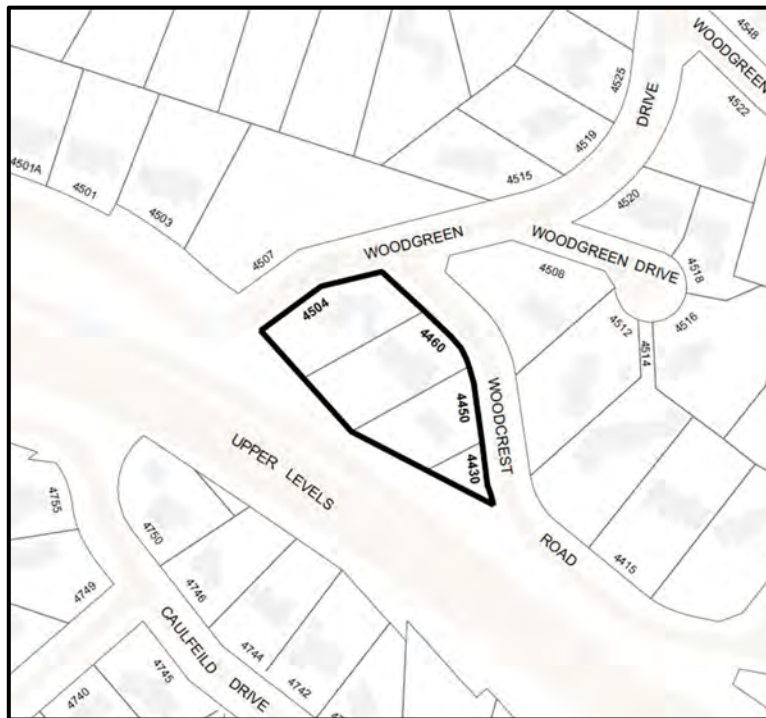
Corporate Officer

Schedule A – Development Permit Area Designation BF-B16 Ground-Oriented Infill Housing

Amendment to Official Community Plan Bylaw No. 4985, 2018, Schedule A, Schedule ii, Area-Specific Policies & Guidelines.

Policy BF-B16.1 is amended by deleting the section in its entirety and replacing it with the following: “The lots shown on maps BF-B16 may be considered for rezoning to enable ground-oriented infill housing types that may include single family dwellings, duplexes, townhouses, rowhouses and/or combinations thereof to address the missing middle.”

The area shown outlined on the map below is added as a designated area to Development Permit Area BF-B16 as the Ground-Oriented Infill Housing Development Permit Area Designation Maps BF-B16 and the existing map within the Maps BF-B16 is labelled “Lots C and D Daffodil Drive”:



4430 Woodcrest Road, 4450 Woodcrest Road, 4460 Woodcrest Road and 4504 Woodgreen Drive

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Appendix E

District of West Vancouver Proposed Development Permit No. 23-061

Current Owners: District of West Vancouver (4430 Woodcrest Road)
Brett Brade (4450 Woodcrest Road)
David and Debra Wolfin (4460 Woodcrest Road)
Bruce Duncan and Tereza Fraser (4504 Woodgreen Drive)

This Development Permit applies to “the Lands”:

Civic Addresses: 4430 Woodcrest Road, 4450 Woodcrest Road, 4460 Woodcrest Road
and 4504 Woodgreen Drive

Legal Descriptions: LOT 7, EXCEPT PART SHOWN OUTLINED RED ON HWY PLAN 92,
DISTRICT LOT 887, PLAN 10004
(PID: 009-545-620)

LOT 6, EXCEPT: PART ON SRW PLAN 92, DISTRICT LOT 887
GROUP 1, NEW WESTMINSTER DISTRICT, PLAN 10004
(PID: 009-544-615)

AMENDED LOT 5 (EXPLANATORY PLAN 9827) DISTRICT LOTS
886 AND 887, PLAN 10004
(PID: 009-545-271)

AMENDED LOT 4 (EXPLANATORY PLAN 9827) DISTRICT LOTS
886 AND 887, PLAN 10004
(PID: 009-545-247)

(the ‘Lands’)

-
1. This Development Permit:
 - (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan within the “Ground-Oriented Infill Housing” development permit area (BF-B16) to promote development that reflects quality building design, materials and landscaping subject to guidelines specified in the Official Community Plan; and
 - (b) is issued subject to the Owner’s compliance with all of the Bylaws of the District applicable to the Lands, except as specifically varied or supplemented by this Permit.
 2. The following requirements and conditions shall apply to the Lands:

- 2.1 Buildings, structures, and site development shall take place in substantial compliance with the architectural drawings from Siegrist Architecture dated February 19, 2026, attached as Schedule "A".
 - 2.2 On-site landscaping, offsite boulevard/sidewalk and offsite boardwalk ("Landscape Works") shall take place in substantial compliance with the landscape drawings from Perry + Associates Landscape Architecture dated April 11, 2024, attached as Schedule "B".
 - 2.3 On and offsite tree removal must comply with the Arborist Report from Tree MD Consulting dated May 6, 2024, attached as Schedule "C".
 - 2.4 District boulevard/sidewalk works and servicing connections shall take place in substantial compliance with the civil engineering drawings from Vector Engineering dated April 15, 2024, attached as Schedule "D".
3. Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner must:
- 3.1 Notwithstanding requirements outlined in Section 2, all items raised by Council's review of DP23-061 must be addressed and shown on the building permit plans and all minor changes must be approved by the Director of Planning, Development and Environment Services (or designate).
 - 3.2 Apply for and receive an approved Wildfire Hazard Development Permit in compliance with Official Community Plan Guidelines NE1.
 - 3.3 Apply for and receive a municipal tree cutting permit for removal of all planned boulevard/District trees.
 - 3.4 Provide proof, to the satisfaction of the Director of Planning, Development and Environment Services (or designate), that MOTT has provided approval for all tree removal or limbing of trees south of the Lands on MOTT property.
 - 3.5 Provide proof, to the satisfaction of the Director of Planning, Development and Environment Services (or designate), that MOTT has provided approval for the proposed boardwalk south of the Lands on MOTT property.
 - 3.6 Provide a lighting plan, indicating all outdoor façade or landscape feature lighting, which is compliant with "Dark Sky" best management practices, to the satisfaction of the Director of Planning, Development and Environment Services (or designate).
 - 3.7 Provide a turning radius plan, to the satisfaction of the Director of Planning, Development and Environment Services (or designate) to ensure the parkade entrance can provide proper access to passenger vehicles and small garbage and recycling trucks.

- 3.8 Provide and implement a plan for traffic management during construction to the satisfaction of the District's Senior Manager of Climate Action, Environment and Land Development.
 - 3.9 Submit a "Sediment and Erosion Plan" to the District's Environmental Protection Officer for approval, which the Owner shall comply with and be responsible for maintaining, repairing and implementing the sediment control measures.
4. Prior to the issuance of a building permit and as security for the due and proper completion of the landscaping works ("Landscape Works") as set forth in Section 2.2 of this Development Permit, the Owner shall:
- 4.1 Provide, to the District's Senior Manager of Climate Action, Environment and Land Development, a cost estimate ("Cost Estimate") for the on-site Landscape Works to be installed.
 - 4.2 Provide, to the District's Senior Manager of Climate Action, Environment and Land Development, a landscape deposit ("Landscape Deposit") in the amount equal to the Cost Estimate, in the form of cash or unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union to ensure the due and proper completion of the Landscaping Works.
 - 4.3 Release of the Landscape Deposit:
 - (a) Following installation of the Landscape Works and upon receipt of a letter or report by the developer to the District stating that:
 - a. the Landscaping Works have been installed substantially in accordance with Schedule B; and
 - b. any variations that may have been undertaken to the Landscaping Works are clearly identified, including but not limited to:
 - i. any adjustments to retaining walls,
 - ii. changes to the mixture or sizes of any plant materials or trees,
 - iii. completion of any off-site or boulevard works,
 - iv. any areas that received alternative treatment,
 - v. any paving changes, or
 - vi. any other additional or omitted plantings or alterations,together with a clear rationale and explanation thereof and stating
 - c. that a final review with the landscape contractor or consultant of record has been completed, including provision of the date when this final review was completed on,

- d. whether there are any outstanding Landscape Works which are outstanding or which need attention, and
- e. notwithstanding outstanding Landscape Works, that the Landscaping Works are complete,

then District will release 75% of the initial value of the Landscape Deposit. The remaining 25% of the initial value of the Landscape Deposit shall be retained by the District as a warranty deposit (the "Warranty Deposit") to ensure successful installation of the Landscaping Works.

- (b) After a one-year period following certification that the Landscaping Works have been completed, and upon final certification by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects that the Landscaping Works are successful, the District will release the Warranty Deposit.

5. Prior to Occupancy:

- 5.1 The applicant must submit documentation demonstrating that the "as-built" development complies with all requirements of this development permit. Any variations must be clearly identified with a rationale and explanation noting that planning staff review and approval may be needed for variations prior to final occupancy.

6. This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON

MAYOR

CORPORATE OFFICER

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO BY THE CURRENT OWNER. IT IS UNDERSTOOD:

- THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION; AND
- THE DEVELOPMENT MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE

RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFIED AT THE BUILDING PERMIT STAGE.

FOR THE PURPOSES OF SECTION 6, THIS PERMIT IS ISSUED ON

Schedules:

- A - Architectural Drawings from Siegrist Architecture dated February 19, 2026.
- B - Landscape Drawings from Perry + Associates Landscape Architecture dated April 11, 2024.
- C - Arborist Report from Tree MD Consulting dated May 6, 2024.
- D - Civil Engineering Drawings from Vector Engineering dated April 15, 2024.

END OF DEVELOPMENT PERMIT 23-061

Architectural Drawing Issues

2021-04-05	Issue 01 - PDP Application
2021-05-17	Issue 02 - PDP Resubmission
2021-10-01	Issue 03 - PDP Resubmission
2023-01-06	Issue 04 - DP Application
2023-09-12	Issue 05 - ADP Resubmission
2024-04-15	Issue 06 - DP Resubmission
2026-02-19	Issue 07 - DP Resubmission

Architectural Drawing Index

A-0.000 Cover		
A.0.201	Cover	
A.0.202	Project Data	
A.0.310	Context - Aerial Perspective	
A.0.320	Context - Street View Photos	
A.0.330	Context - Street View Photos	
A.0.401	Perspective Render	
A.0.402	Perspective Render	
A.0.403	Perspective Render	
A.0.404	Perspective Render	
A.0.405	Perspective Render	
A.0.406	Perspective Render	
A-1.000 Site		
A.1.001	Survey	1/16" = 1'-0"
A.1.002	Site Plan	1/16" = 1'-0"
A.1.003	Landscape	1/16" = 1'-0"
A-2.000 Plans		
A.2.010	P1 Level Floor Plan	3/32" = 1'-0"
A.2.110	Level 1 Floor Plan	3/32" = 1'-0"
A.2.210	Level 2 Floor Plan	3/32" = 1'-0"
A.2.310	Level 3 Floor Plan	3/32" = 1'-0"
A.2.410	Level 4 Floor & Roof Plan	3/32" = 1'-0"
A.2.510	Roof Plan	3/32" = 1'-0"
A-3.000 Enlarged Plans		
A.3.101	Unit Plans	1" = 1'-0"
A.3.102	Unit Plans	1" = 1'-0"
A.3.103	Unit Plans	1" = 1'-0"
A.3.104	Unit Plans	1" = 1'-0"
A-4.000 Elevations		
A.4.100	Building 1 Elevations	
A.4.200	Building 2 Elevations	
A.4.300	Building 3 Elevations	
A.4.400	Building 4 Elevations	
A.4.500	Amenity Building and Courtyard Stair Elevations	
A.4.600	Material Board	
A-5.000 Sections		
A.5.100	Building Sections	
A.5.200	Building Sections	
A.5.300	Building Sections	
A-8.000 Supplemental		
A.8.310	Shadow Studies - March 21st	
A.8.320	Shadow Studies - June 21st	
A.8.330	Shadow Studies - September 21st	
A.8.320	Shadow Studies - December 21st	

Development Permit Number:

N/A

Building Permit Number:

N/A

Zoning:

Existing Zoning: R14

Proposed Zoning: R14

Note: Drawings only to scale when printed on 24x36 sheets

Project Description:

4 Four Storey Stacked Townhouse Buildings, and 1 Two Storey Amenity Building.

Civic Address:

4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

Legal Description:

1. PLAN 10004 LOT 4 AM DISTRICT LOT 886/887, LOT 4 EP9827
2. PLAN 10004 DISTRICT LOT 886 & DISTRICT LOT 887, LOT 5 EXPLANATORY PLAN 9827
3. PLAN 10004 DISTRICT LOT 887 LOT 6 EXCEPT: PART ON SRW PLAN 92

PID:

009-545-247 (Amd 4)

009-545-271 (Amd 5)

009-544-615 (Rem 6)



Schedule A

STIEGRIST
ARCHITECTURE

Woodcrest Townhomes

Cover

012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-0.201



① South Aerial Perspective of Site
NOT TO SCALE



② North-West Aerial Perspective of Site
NOT TO SCALE



③ North-East Aerial Perspective of Site
NOT TO SCALE



④ South-East Aerial Perspective of Site
NOT TO SCALE



⑤ East Aerial Perspective of Site
NOT TO SCALE



1



2



3



4



5



6



7

SIEGRIST

Context - Street View Photos
 012
 February 19, 2026
 Issue 07 - DP Resubmission
 4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-0.320



1



2



3



4



5



6



7

SIEGRIST

Context - Street View Photos
 012
 February 19, 2026
 Issue 07 - DP Resubmission
 4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-0.330



SIEGRIST

Perspective Render
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-0.401



SIEGRIST

Perspective Render
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-0.402



SIEGRIST

Perspective Render
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-0.403



SIEGRIST

Perspective Render
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-0.404



SIEGRIST

Perspective Render
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

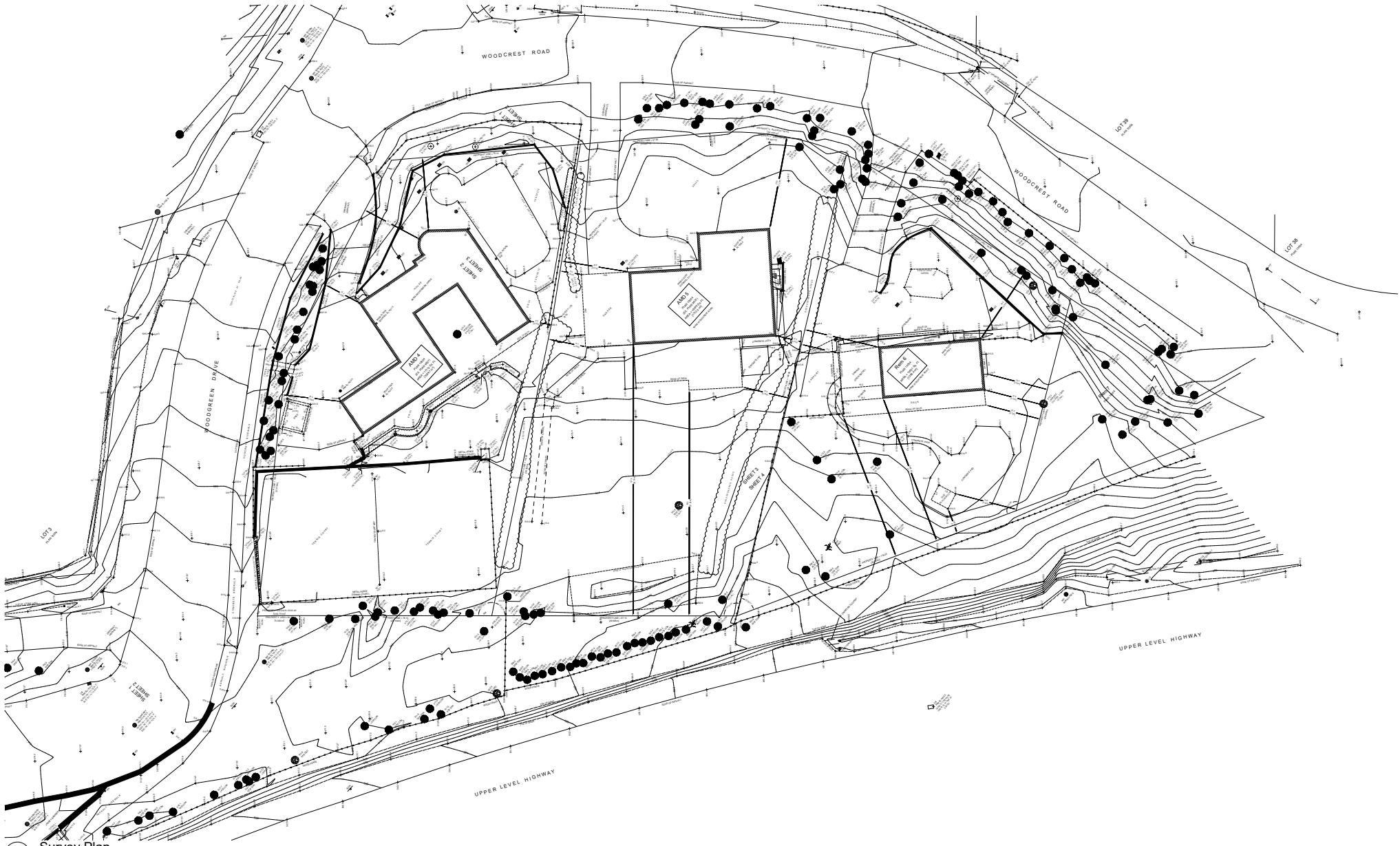
A-0.405



SIEGRIST

Perspective Render
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-0.406



1 Survey Plan
 SCALE: 1/8" = 1'-0"

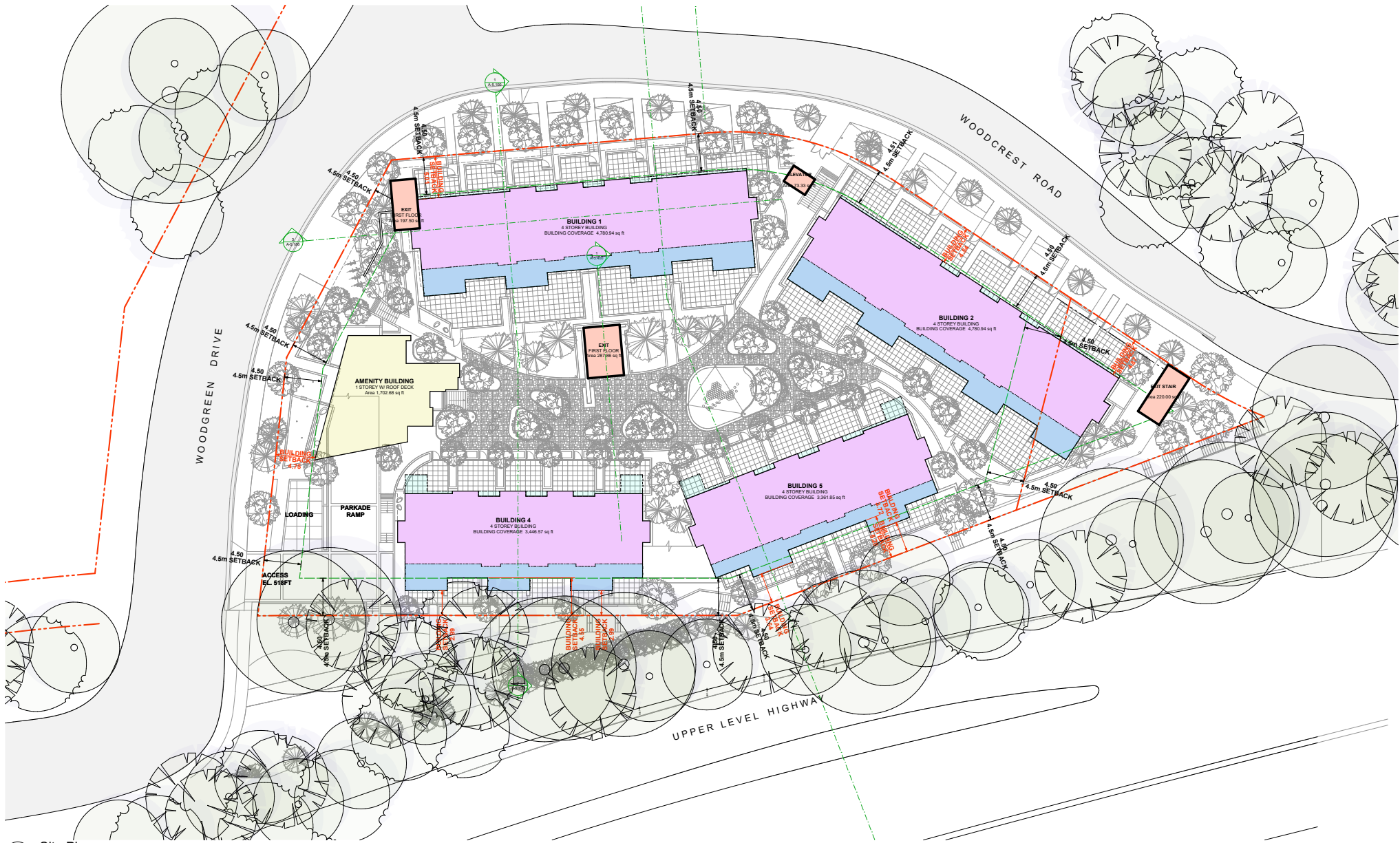
Note: This drawing is not the legal survey. This drawing may have been modified from the original survey. Please refer to original signed and sealed survey if needed.

SIEGRIST



Survey
 012
 February 19, 2026
 Issue 07 - DP Resubmission
 4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-1.001



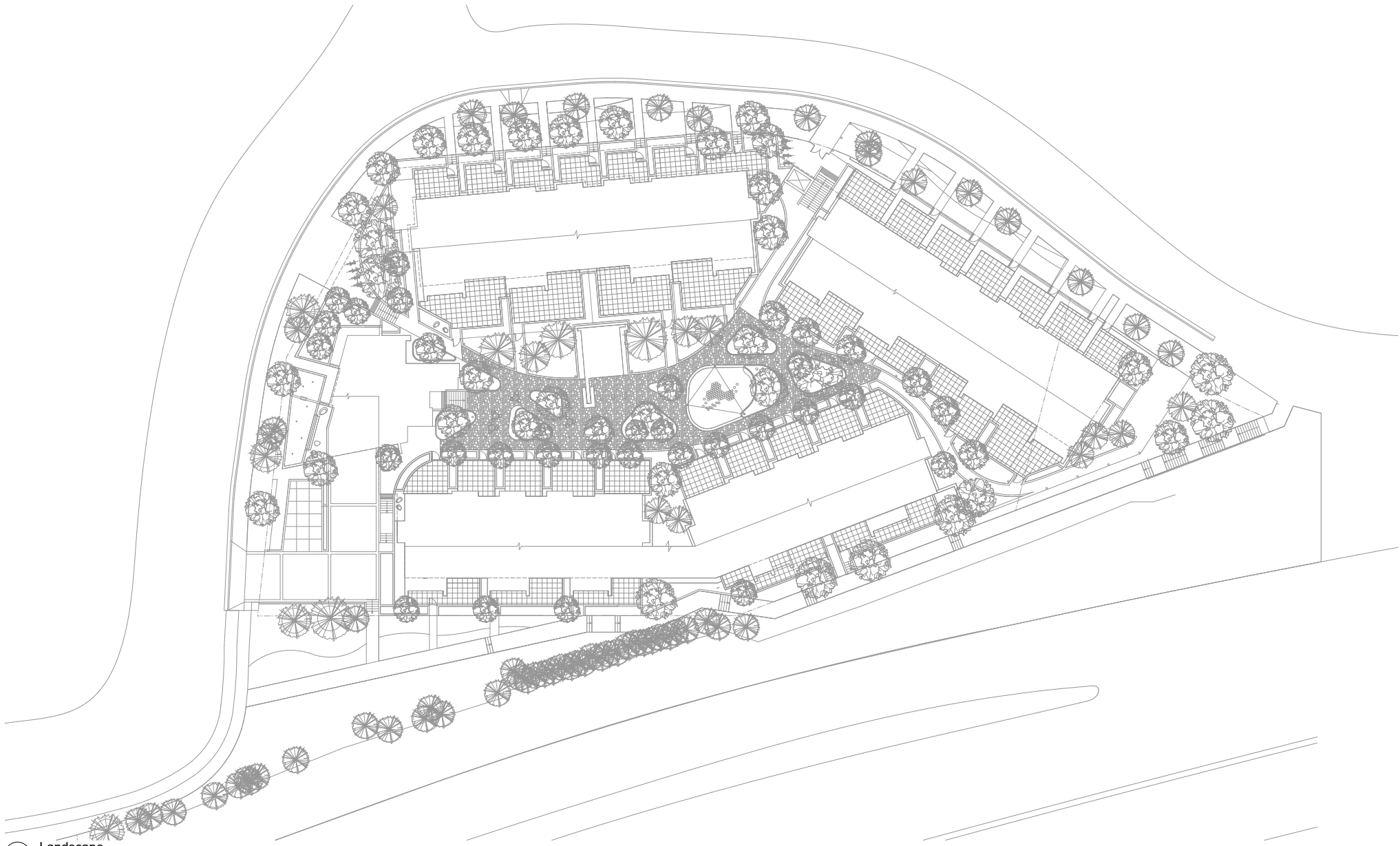
1 Site Plan
SCALE: 1/8" = 1'-0"

SIEGRIST



Site Plan
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-1.002



1

Landscape

SCALE: 1/8" = 1'-0"

Note: This drawing is not the legal survey. This drawing may have been modified from the original survey. Please refer to original signed and sealed survey if needed.

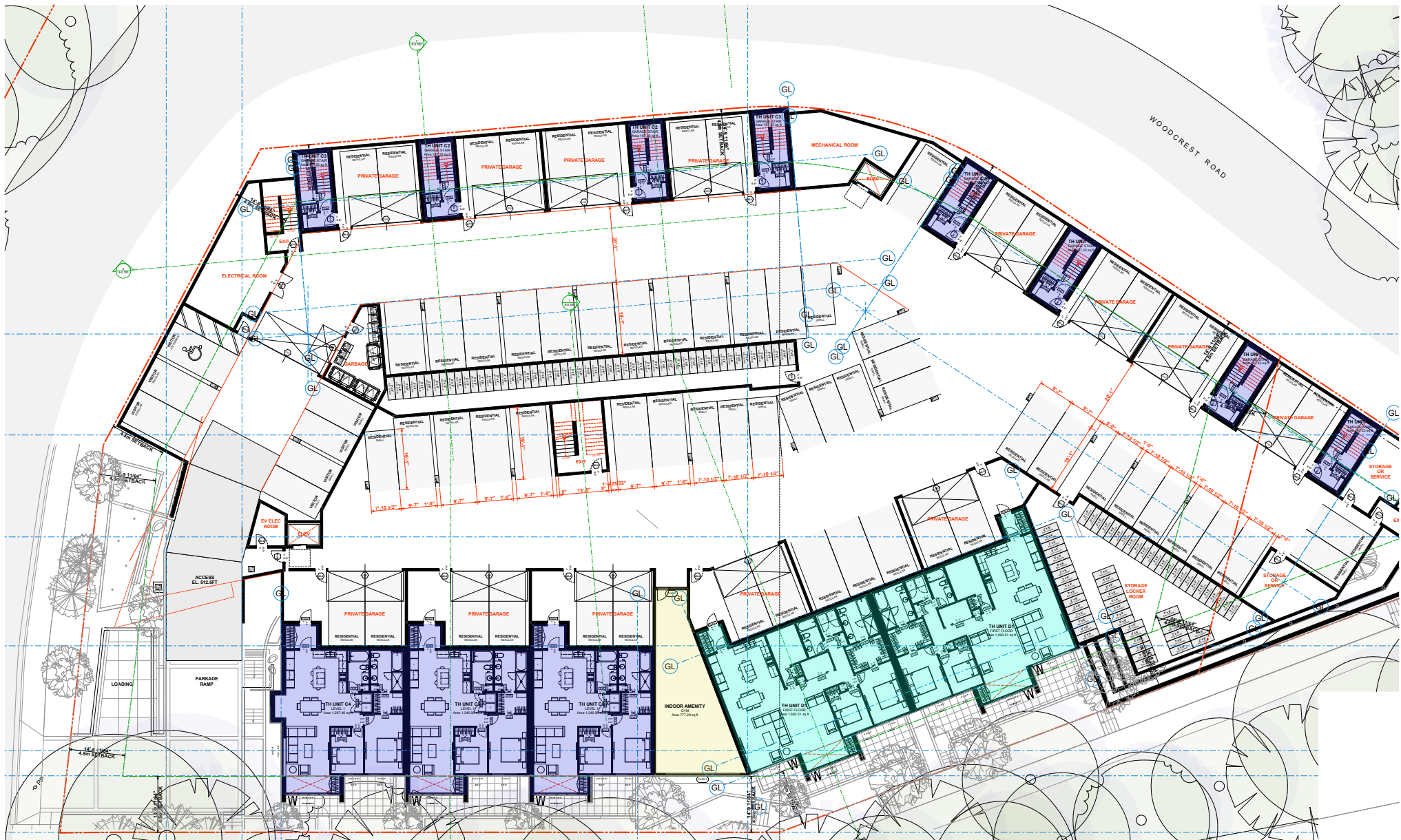
SIEGRIST



Landscape

012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-1.003



1 P1 Parking Plan
SCALE: 1/32" = 1'-0"





1 Level 1 Floor Plan
SCALE: 3/32" = 1'-0"

SIEGRIST



Level 1 Floor Plan
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-2.110



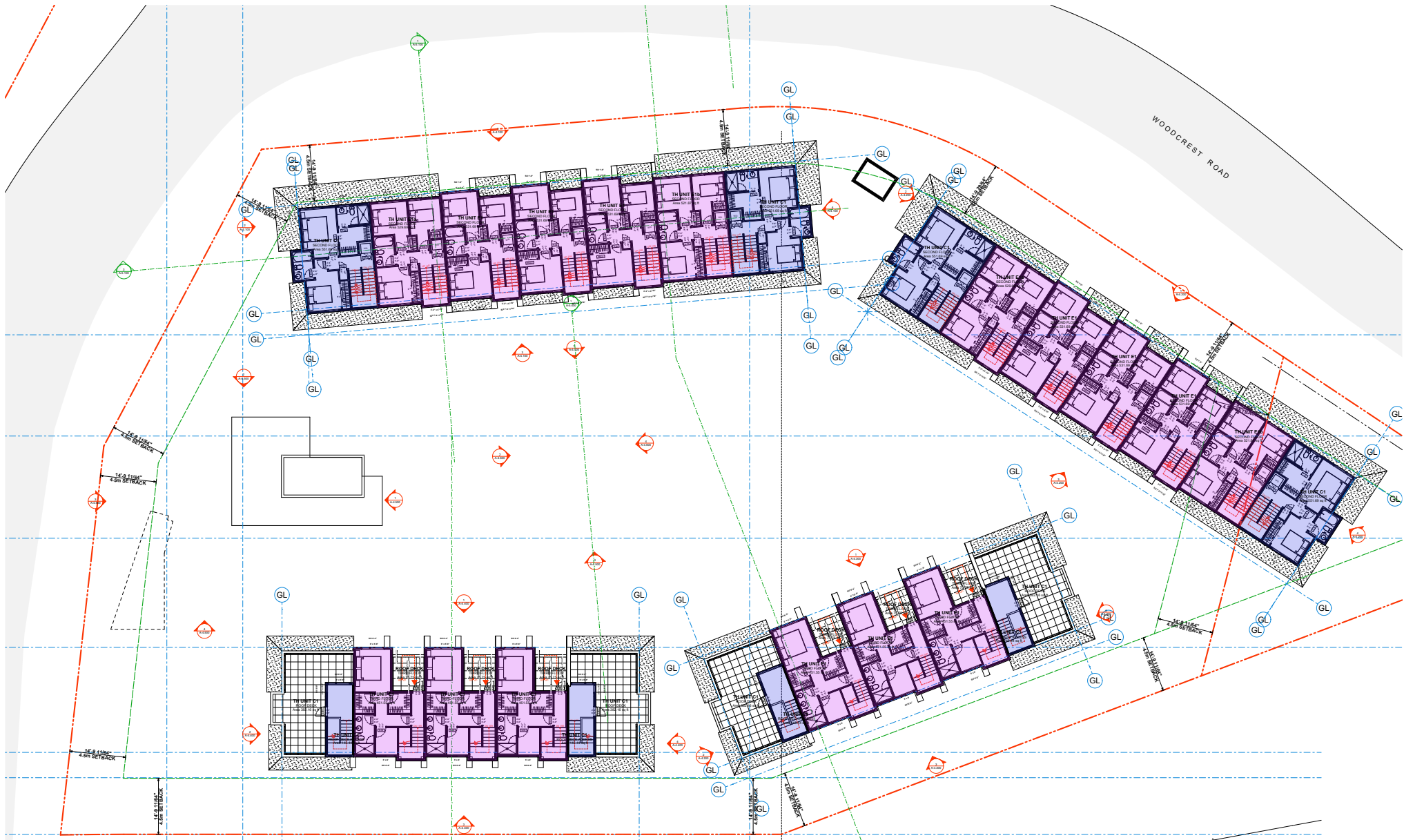
1 Level 2 Floor Plan
SCALE: 3/32" = 1'-0"

SIEGRIST



Level 2 Floor Plan
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-2.210



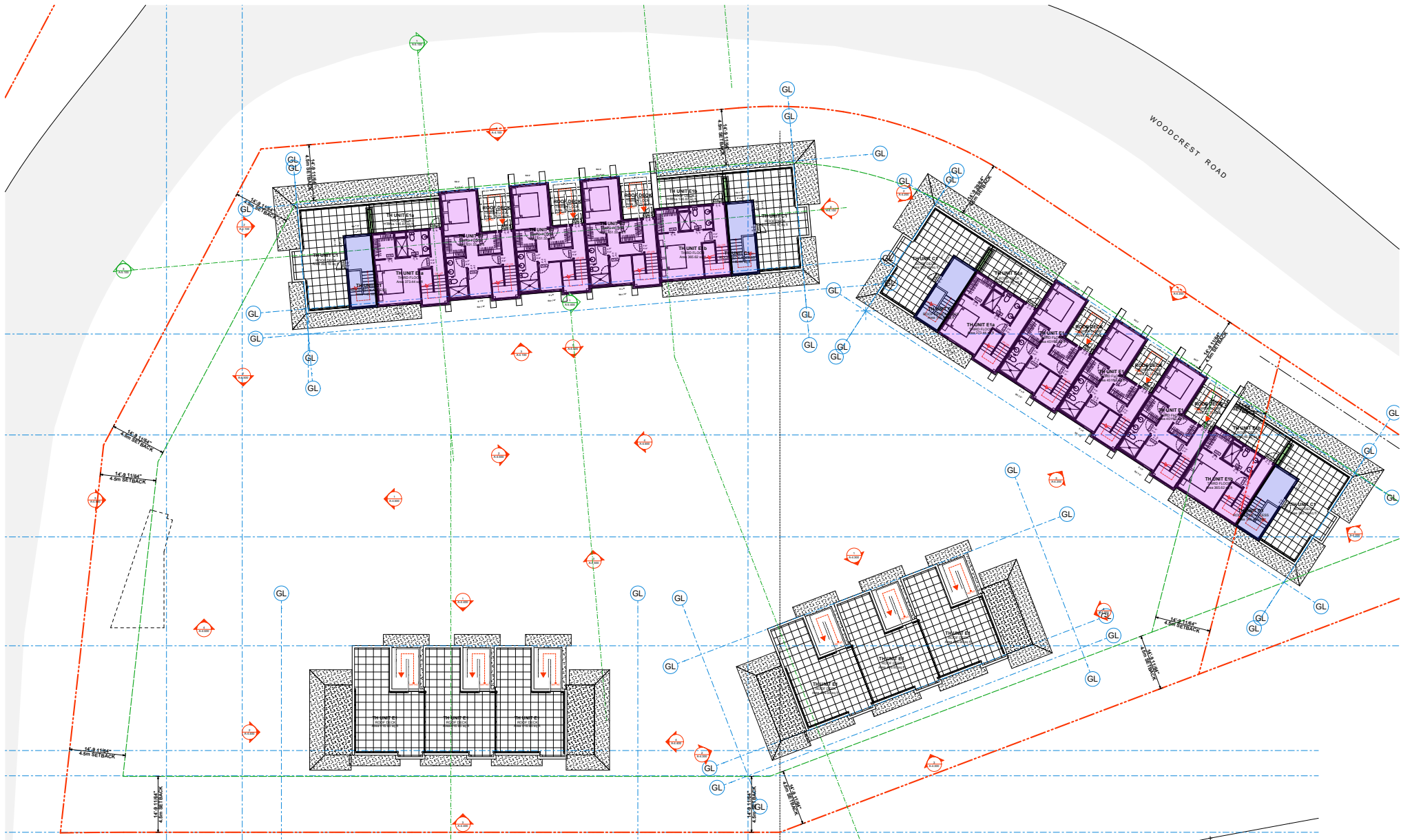
1 Level 3 Floor Plan
SCALE: 3/32" = 1'-0"

SIEGRIST



Level 3 Floor Plan
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-2.310



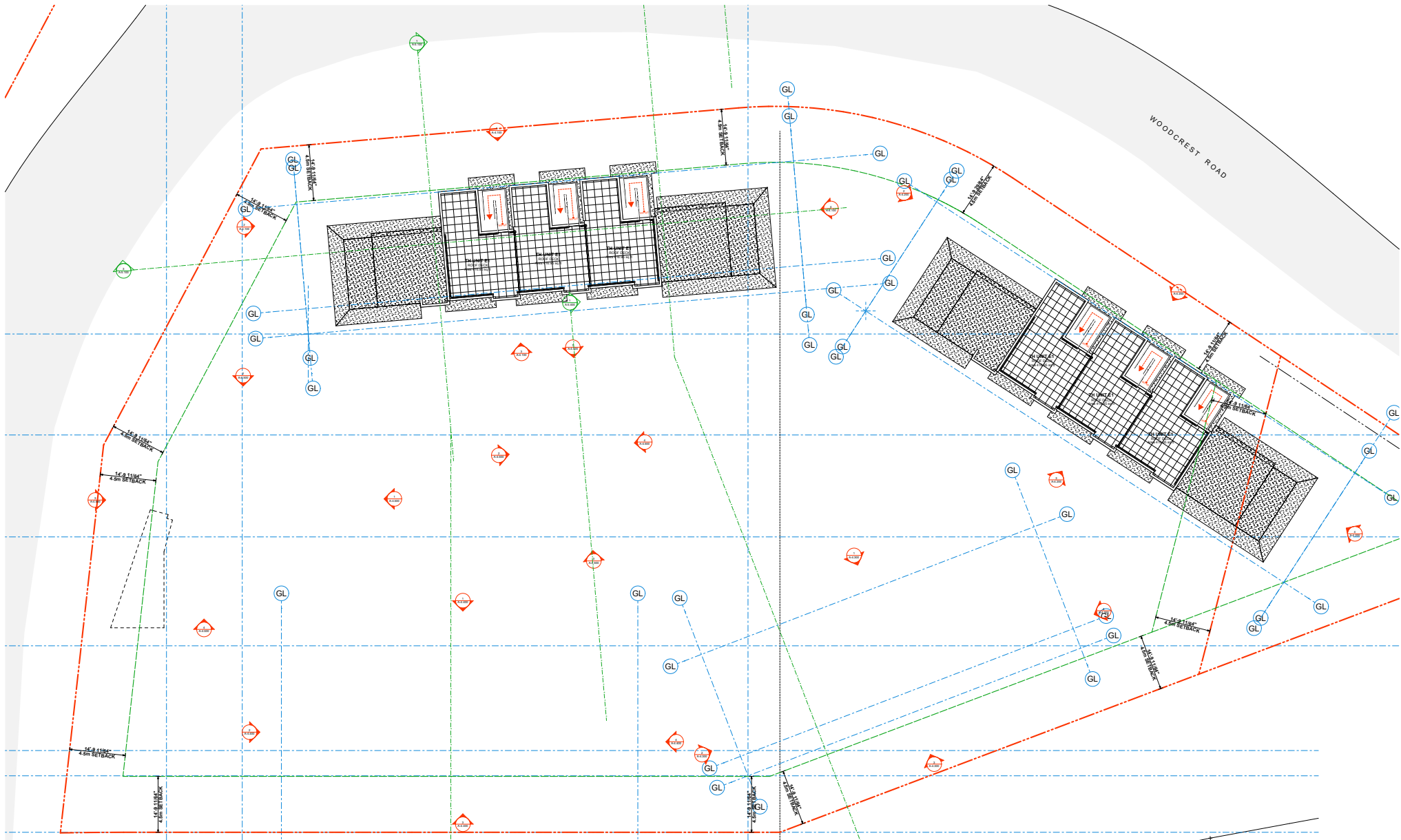
1 Level 4 Floor and Roof Plan
 SCALE: 3/32" = 1'-0"

SIEGRIST



Level 4 Floor & Roof Plan
 012
 February 19, 2026
 Issue 07 - DP Resubmission
 4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-2.410



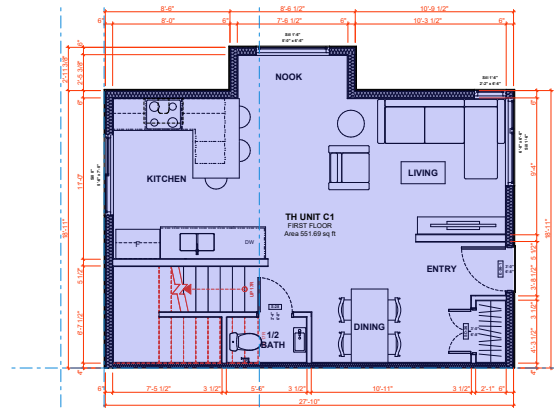
1 Roof Plan
SCALE: 3/32" = 1'-0"

SIEGRIST

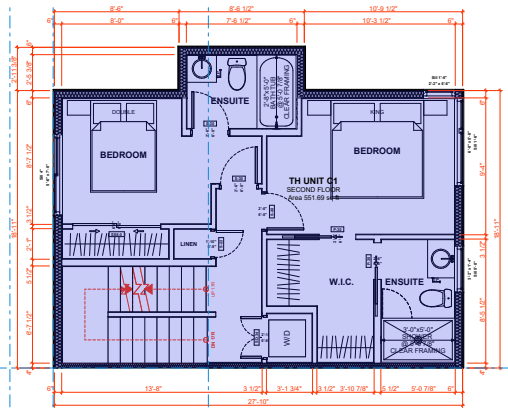


Roof Plan
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

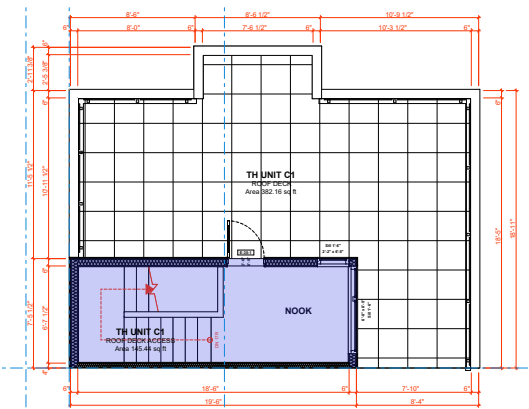
A-2.510



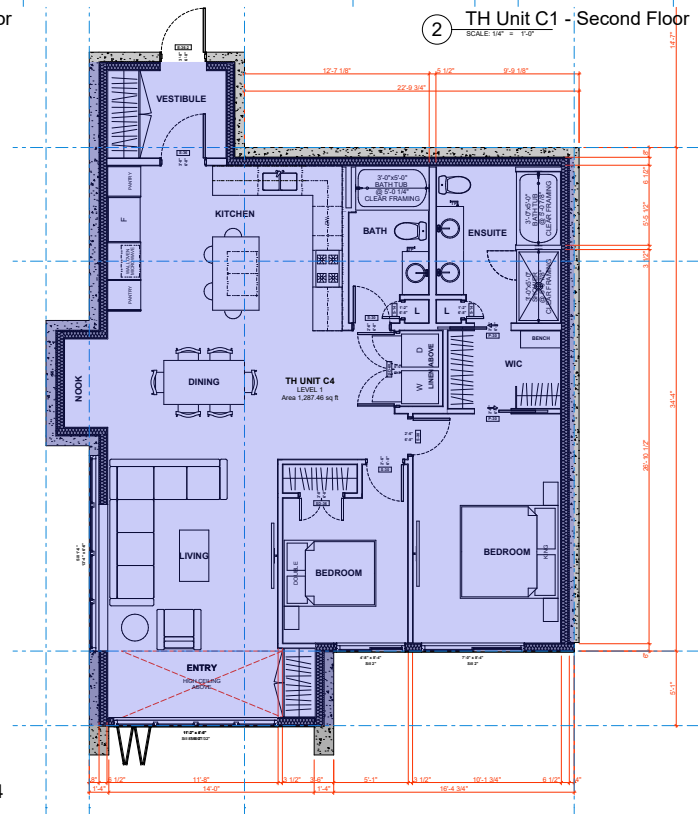
① TH Unit C1 - First Floor
SCALE: 1/4" = 1'-0"



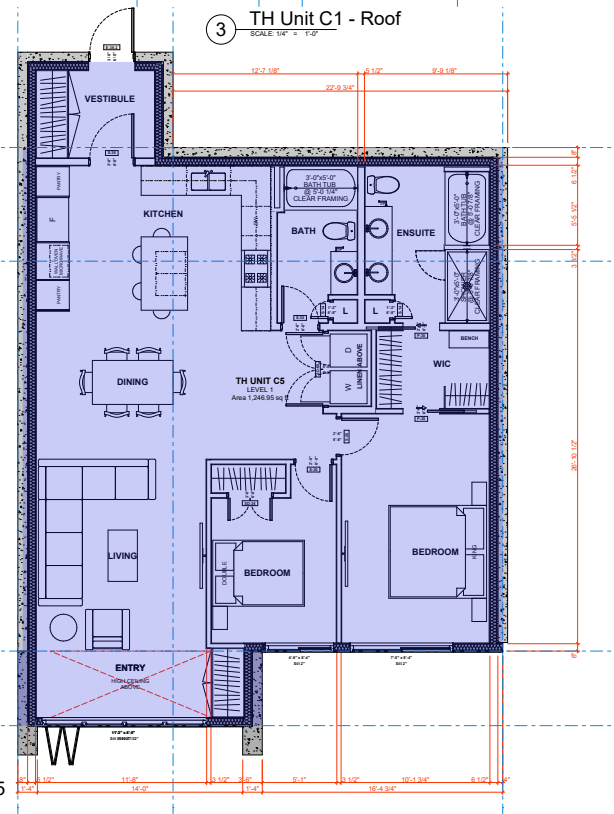
② TH Unit C1 - Second Floor
SCALE: 1/4" = 1'-0"



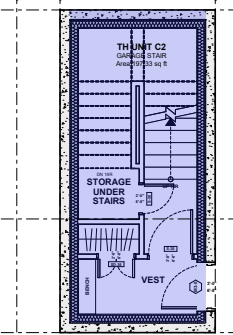
③ TH Unit C1 - Roof
SCALE: 1/4" = 1'-0"



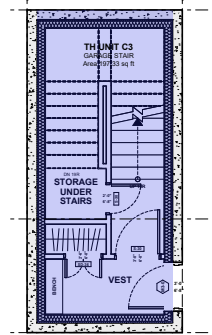
④ TH Unit C4
SCALE: 1/4" = 1'-0"



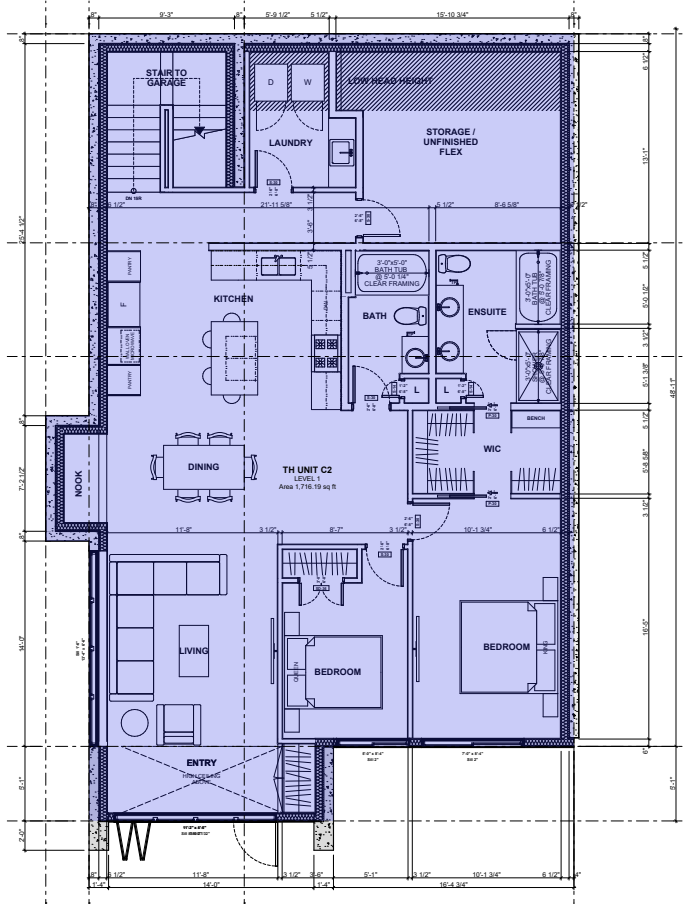
⑤ TH Unit C5
SCALE: 1/4" = 1'-0"



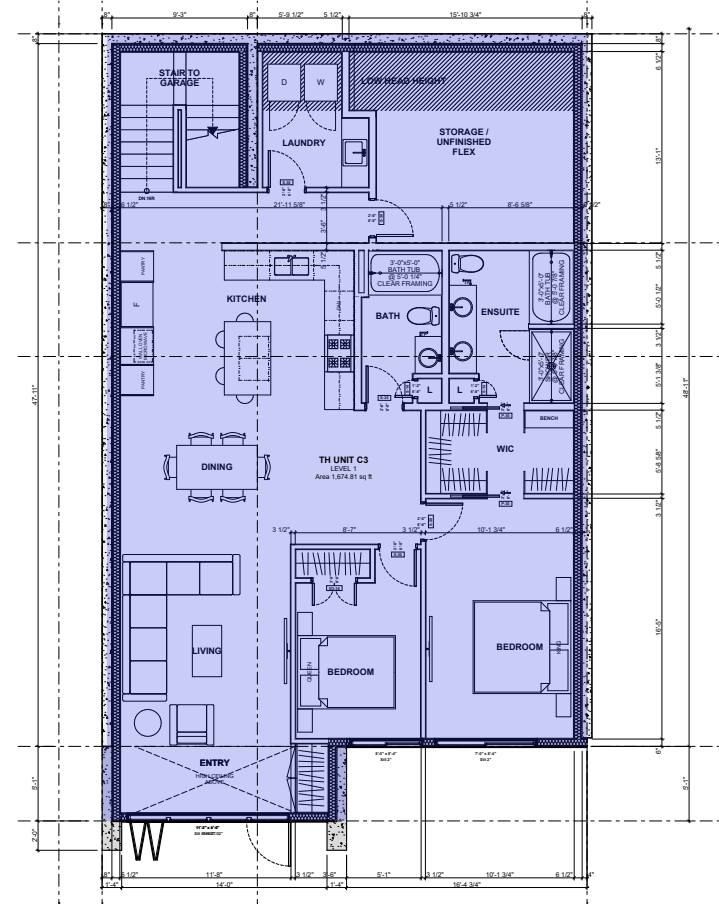
2 TH Unit C2 - Parking
SCALE 1/4" = 1'-0"



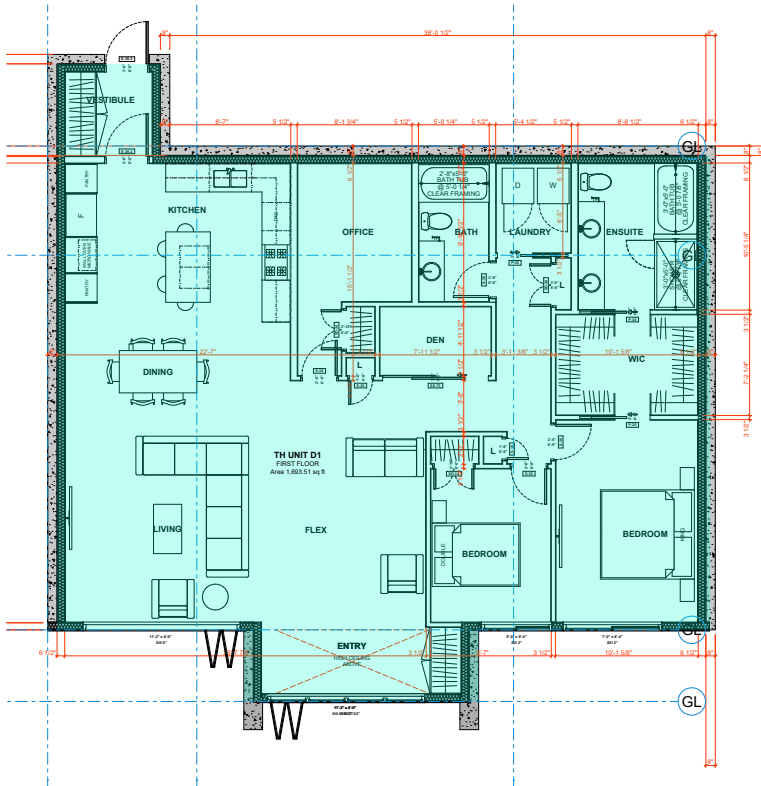
4 TH Unit C3 - Parking
SCALE 1/4" = 1'-0"



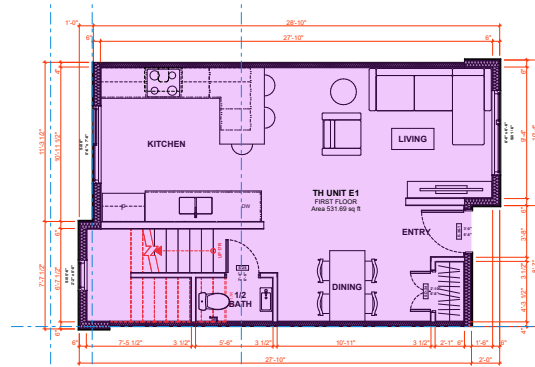
1 TH Unit C2
SCALE 1/4" = 1'-0"



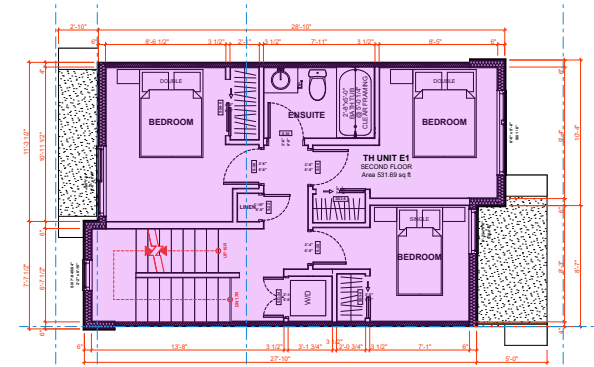
3 TH Unit C3
SCALE 1/4" = 1'-0"



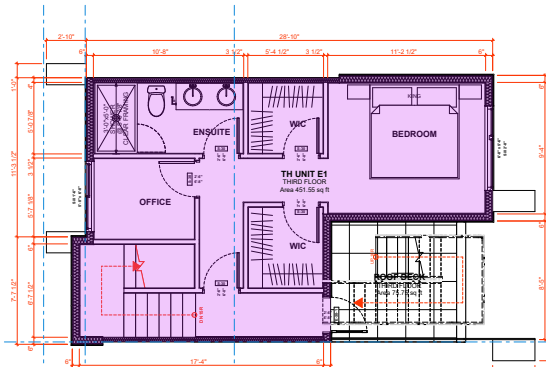
5 TH Unit D1
SCALE: 1/4" = 1'-0"



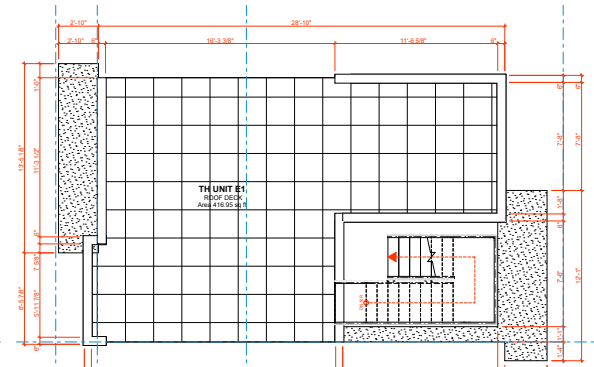
1 TH Unit E1 - First Floor
SCALE: 1/4" = 1'-0"



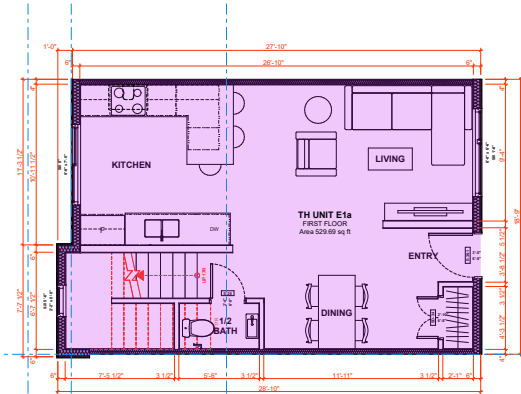
3 TH Unit E1 - Second Floor
SCALE: 1/4" = 1'-0"



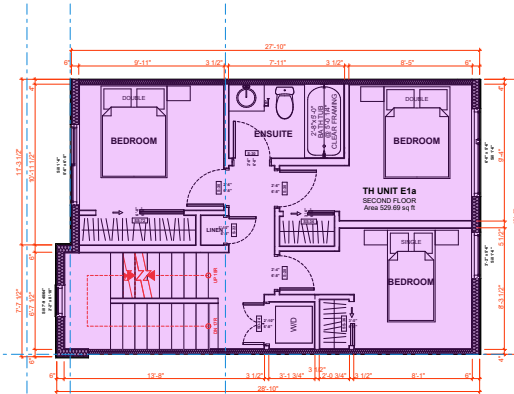
4 TH Unit E1 - Third Floor
SCALE: 1/4" = 1'-0"



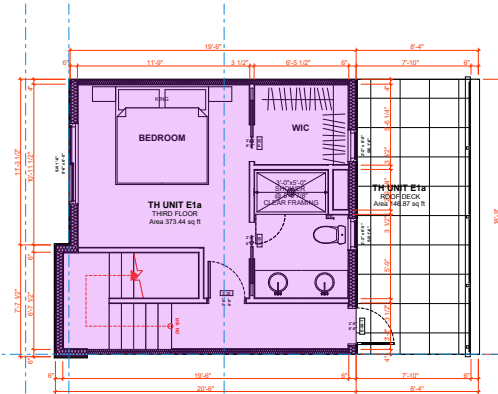
2 TH Unit E1 - Roof
SCALE: 1/4" = 1'-0"



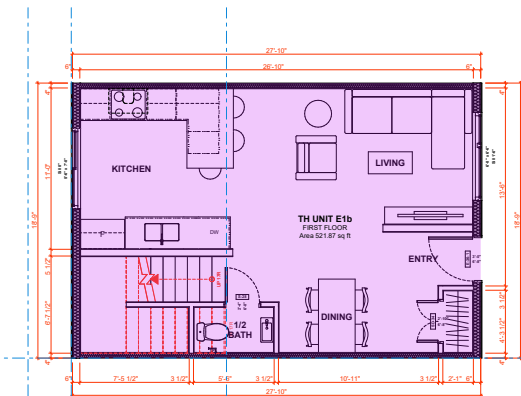
1 TH Unit E1a - First Floor
SCALE: 1/4" = 1'-0"



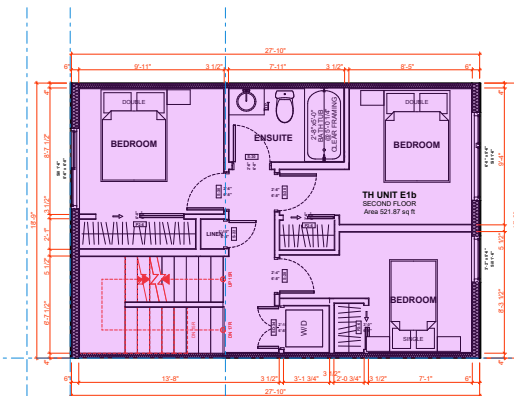
2 TH Unit E1a - Second Floor
SCALE: 1/4" = 1'-0"



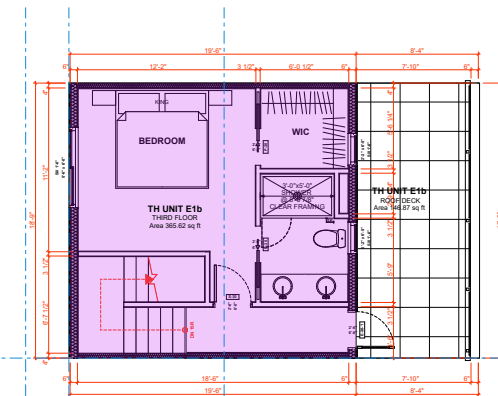
3 TH Unit E1a - Third Floor
SCALE: 1/4" = 1'-0"



4 TH Unit E1b - First Floor
SCALE: 1/4" = 1'-0"



5 TH Unit E1b - Second Floor
SCALE: 1/4" = 1'-0"



6 TH Unit E1b - Third Floor
SCALE: 1/4" = 1'-0"



1 Building 1 - Woodcrest Road Elevation
SCALE: 1/8" = 1'-0"



2 Building 1 - North Side Elevation
SCALE: 1/8" = 1'-0"



3 Building 1 - Courtyard Elevation
SCALE: 1/8" = 1'-0"



4 Building 1 - South Side Elevation
SCALE: 1/8" = 1'-0"

MATERIAL AND COLOUR LEGEND

Color	Product	Finish (by trade)	Manufacturer	Location
CLADDING				
11	Clay	SANDWICH CHANNEL LOG SILING (S)	Kinley Maple	Slipcase
12	Clay	SANDWICH CHANNEL LOG SILING (S)	Claystone Movement	Slipcase
13	Dark Grey	HANDHELD VERTICAL SILING SMOOTH	Iron Grey	Jensenshede
14	Light Grey	HANDHELD VERTICAL SILING SMOOTH	Iron Grey	Jensenshede
15	Dark Blue	VENEER DARK LANGLENIA	Merino Rust	Veneer Stone
SCREENS				
16	Clay	SANDWICH V VENEER	Kinley Maple	Slipcase
17	Light Grey	HANDHELD VERTICAL SILING SMOOTH	Pearl Grey	Jensenshede

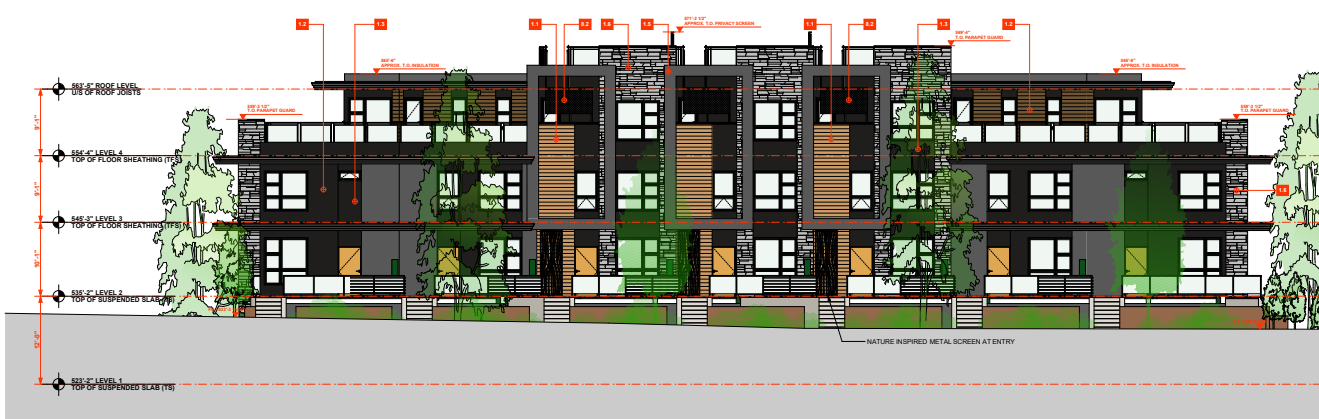
ROOFS				
18	Dark Grey	2 Layer SBC Membrane	Black	SBC Membrane at the ends
WINDOWS				
19	Black	Aluminum or Wood Entry Doors	Exposed Wood Grain	
SCREENS				
20	Dark Grey / Black	Veneer Windows	Glass - Frames To Match 13	
SCREENS				
21	Dark Grey	HANDHELD VERTICAL SILING SMOOTH	Iron Grey	Jensenshede
SCREENS				
22	Dark Grey / Black	Aluminum Guard Railing	Glass - Frames To Match 13	

ACCESSORIES				
23	Dark Grey / Black	Sliding Glass and Glass Doors	Glass - Frames To Match 13	
24	Control Panel	Self-Deck Access Glass	Polished To Match 13	
SCREENS				
25	Wood	4x12 Glulam Columns	Slab / Finish to be confirmed by Structural Consultant Shop Drawings	Feature Entry Columns

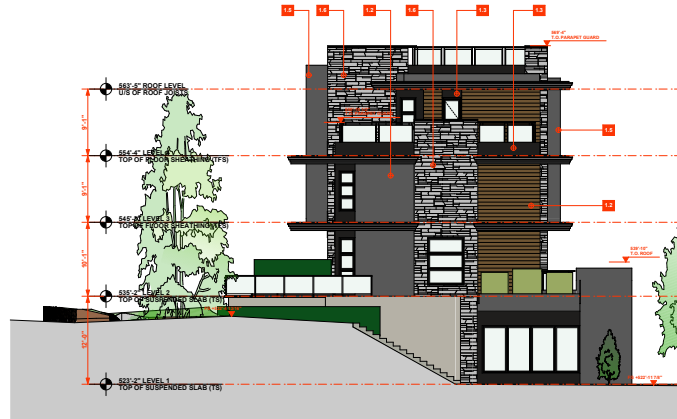
SIEGRIST

Building 1 Elevations
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-4.100



1 Building 2 - Woodcrest Road Elevation
SCALE: 1/8" = 1'-0"



2 Building 2 - North Side Elevation
SCALE: 1/8" = 1'-0"



3 Building 2 - Courtyard Elevation
SCALE: 1/8" = 1'-0"



4 Building 2 - South Side Elevation
SCALE: 1/8" = 1'-0"

MATERIAL AND COLOUR LEGEND

Colour	Product	Finish (by trade)	Manufacturer	Location
CLADDING				
1-1 Cedar	SIGNATURE CEDARWALL (48 Siding #1)	Knotty Maple	Supiger	Exterior Walls
1-2 Stone	SIGNATURE CEDARWALL (48 Siding #1)	Charleston Blackwood	Supiger	Exterior Walls
1-3 Dark Grey	HANDSHAKE VERTICAL SIDING (SMOOTH)	Iron Grey	Jensenite	Exterior Walls & Fire Walls & Feature Walls @ Corner Units
1-4 Light Grey	HANDSHAKE VERTICAL SIDING (SMOOTH)	Peak Grey	Jensenite	Exterior Walls & Fire Walls & Feature Walls @ Corner Units
1-5 Silver/Grey	VENEER DARK LANTERNA	Mineral Point	Veneer Stone	Exterior Walls
ROOF				
1-1 Cedar	SAGESIV V-19 (cedar)	Knotty Maple	Supiger	Roofs which have Black Facade (R&B)
1-2 Light Grey	HANDSHAKE VERTICAL SIDING (SMOOTH)	Peak Grey	Jensenite	Roofs which have Light Grey Facade (L&B)

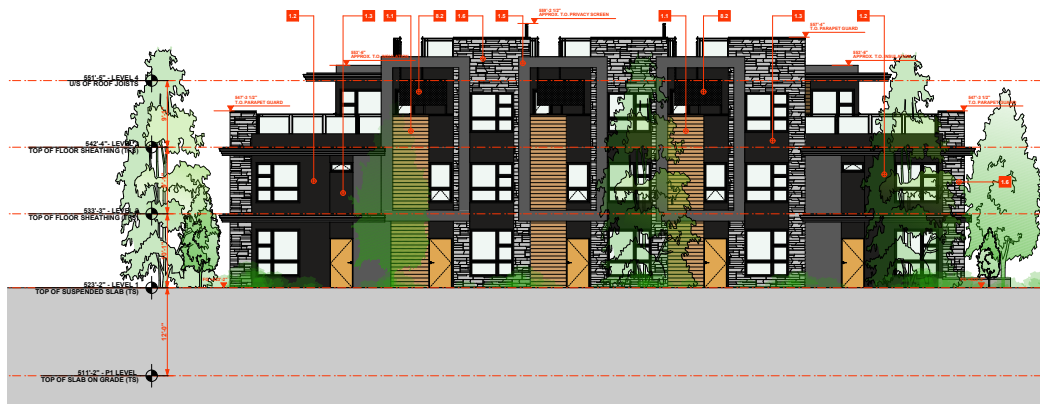
ROOFS			
1-1	2 Layer SBC Membrane	Black	SBC Membrane at the works
1-2	1/2" Shear		
1-3	Sheet	Aluminum or Wood Emery Deck	Exposed Wood Deck
WINDOWS			
1-1	Dark Grey / Black	Vinyl Windows	Glass - Frames To Match 1.3
SCREEN FACIAS			
1-1	Dark Grey	HANDSHAKE SIDING (48 x 125) (SMOOTH)	Iron Grey
1-2	Light Grey	HANDSHAKE SIDING (48 x 125) (SMOOTH)	Jensenite
SCREENING			
1-1	Dark Grey / Black	Aluminum Guard Railing	Glass - Frames To Match 1.3

ACCESSORIES		
1-1	Dark Grey / Black	Roofing, Gutters, and Down Spout
1-2	Control Panel	Roof Deck Access Door
1-3	Handrail	Handrail
STRUCTURE		
1-1	Wood	4x12 Glulam Columns
Slab / Floor to be confirmed by Structural Consultant Shop drawings		
Feature Entry Columns		

SIEGRIST

Building 2 Elevations
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-4.200



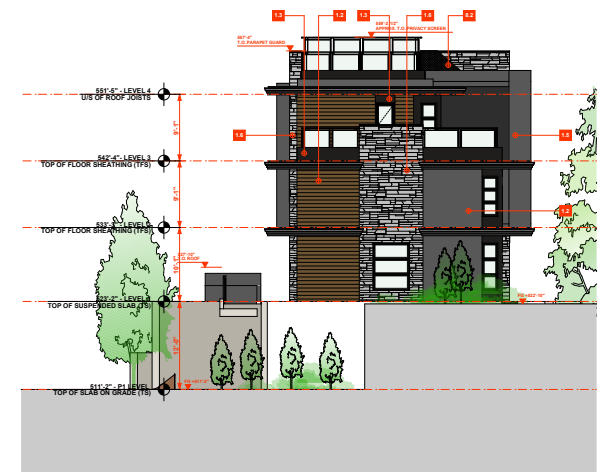
1 Building 3 - Courtyard Elevation
SCALE: 1/8" = 1'-0"



2 Building 3 - North Side Elevation
SCALE: 1/8" = 1'-0"



3 Building 3 - Boardwalk Elevation
SCALE: 1/8" = 1'-0"



4 Building 3 - South Side Elevation
SCALE: 1/8" = 1'-0"

MATERIAL AND COLOUR LEGEND

Color	Product	Finish (by trade)	Manufacturer	Location
CLADDING				
11	Dark	SIGNATURE CHALKBOARD LUG GLOSS (S)	Kristy Maple	Exterior Walls
12	Dark	SIGNATURE CHALKBOARD LUG GLOSS (S)	Cherokee Richmond	Exterior Walls
13	Dark Grey	HANDSHAKE VERTICAL SMOOTH	Iron Grey	Exterior Walls & Fire Walls & Feature Walls @ Corner Units
14	Light Grey	HANDSHAKE VERTICAL SMOOTH	Iron Grey	Exterior Walls & Fire Walls & Feature Walls @ Corner Units
15	Dark Brown	VANILLA DARK LANTERNA	Merida Rust	Exterior Walls
ROOF				
16	Dark	SAGESBY 4" P/GRASS	Kristy Maple	Roofs which have Dark Facade (R2)
17	Light Grey	HANDSHAKE VERTICAL SMOOTH	Peart Grey	Roofs which have Light Grey Facade (R1)

ROOFS	18	3 Layer SBS Membrane	Black	SBS Membrane at flat roofs
ROOFS	19	Roof	Black	SBS Membrane at flat roofs
ROOFS	20	Roof	Aluminum or Wood-Embossed	Exposed Wood Deck
FLOORS	21	Dark Grey / Black	Vinyl Windows	Glass - Frames To Match 13
FLOOR FACIAS	22	Dark Grey	HANDSHAKE BOARDS 6x4 RTSM SMOOTH	Iron Grey
FLOOR FACIAS	23	Dark Grey / Black	Aluminum Guard Railing	Glass - Frames To Match 13

ACCESSORIES	24	Dark Grey / Black	Roofing, Gutters, and Down Spout	Glass - Frames To Match 13
ACCESSORIES	25	Control Panel	Roof Deck Access Door	Painted To Match 13
STRUCTURE	26	Wood	4x12 Glulam Columns	Slab / Finish to be confirmed by Structural Consultant (Shop drawings)
STRUCTURE	27	Wood	4x12 Glulam Columns	Feature Entry Columns

SIEGRIST

Building 3 Elevations
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

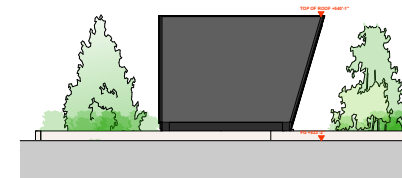
A-4.300



1 Amenity Building - Courtyard Elevation
SCALE: 1/8" = 1'-0"



2 Amenity Building - Front Courtyard Elevation
SCALE: 1/8" = 1'-0"



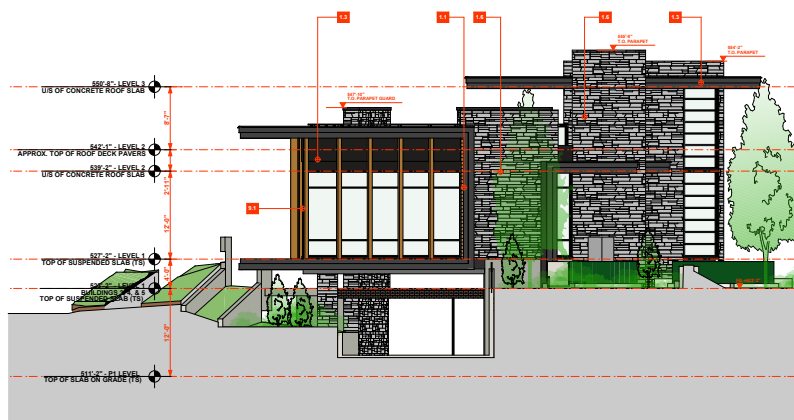
1 Central Courtyard Stair - North Elevation
SCALE: 1/8" = 1'-0"



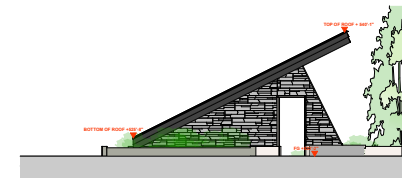
3 Central Courtyard Stair - South Elevation
SCALE: 1/8" = 1'-0"



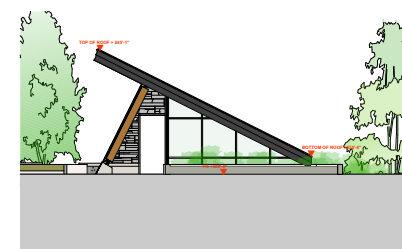
3 Amenity Building - Woodgreen Drive Elevation
SCALE: 1/8" = 1'-0"



4 Amenity Building - Parkade Ramp Elevation
SCALE: 1/8" = 1'-0"



2 Central Courtyard Stair - West Elevation
SCALE: 1/8" = 1'-0"



4 Central Courtyard Stair - East Elevation
SCALE: 1/8" = 1'-0"

MATERIAL AND COLOUR LEGEND

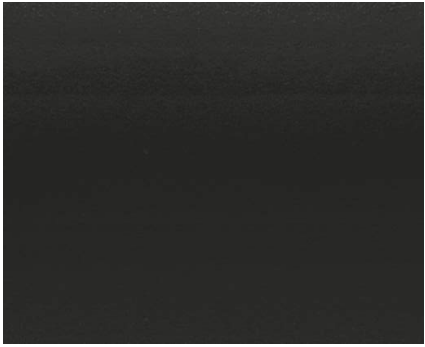
Colour	Product	Finish (by trade)	Manufacturer	Location
CLADDING				
11	Cladding	SANDWICH CONCRETE LAG GIBBS (S)	Kinley Mason	Slagden
12	Cladding	SANDWICH CONCRETE LAG GIBBS (S)	Clayton Mechanical	Slagden
13	Cladding	HANDPAWLED VERTICAL SIDING SMOOTH	Iron Gray	Jamiesonville
14	Cladding	HANDPAWLED VERTICAL SIDING SMOOTH	Iron Gray	Exterior Walls & Fire Walls & Feature Walls @ Corner Units
15	Cladding	HANDPAWLED VERTICAL SIDING SMOOTH	Pink Gray	Jamiesonville
16	Cladding	HANDPAWLED VERTICAL SIDING SMOOTH	Medium Rust	Veneered Stone
17	Cladding	HANDPAWLED VERTICAL SIDING SMOOTH	Medium Rust	Exterior Walls
DOORS				
18	Door	SAGEBY W/ V-groove	Kinley Mason	Slagden
19	Door	HANDPAWLED VERTICAL SIDING SMOOTH	Pink Gray	Jamiesonville
20	Door	HANDPAWLED VERTICAL SIDING SMOOTH	Pink Gray	Slagden
21	Door	HANDPAWLED VERTICAL SIDING SMOOTH	Pink Gray	Jamiesonville

ROOFS				
22	Roof	2 Layer SBS Membrane	Black	SBS Membrane at flat roofs
23	Roof	Aluminum or Wood-Emery Deck	Exposed Wood Deck	
FLOORS				
24	Floor	Dark Gray / Black	Vinyl Windows	Glass - Frames To Match 13
FIRE FACIAS				
25	Fire Facia	HANDPAWLED VERTICAL SIDING SMOOTH	Iron Gray	Jamiesonville
RAILINGS				
26	Railing	Dark Gray / Black	Aluminum Guard Railing	Glass - Frames To Match 13

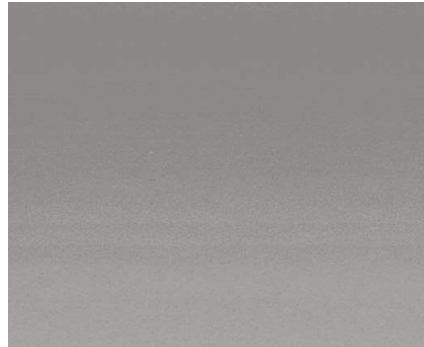
ACCESSORIES				
27	Accessory	Dark Gray / Black	Exterior Columns and Glass Doors	Glass - Frames To Match 13
28	Accessory	Control Panel	Dark Deck Access Deck	Painted To Match 13
29	Accessory	Wood	4x4 Golden Columns	Slab / Finish to be confirmed by Developer Consultant Shop Drawings
30	Accessory	Wood	4x4 Golden Columns	Feature Entry Columns

SIEGRIST

Amenity Building and Courtyard Stair Elevations
February 15, 2025
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC
A-4.500



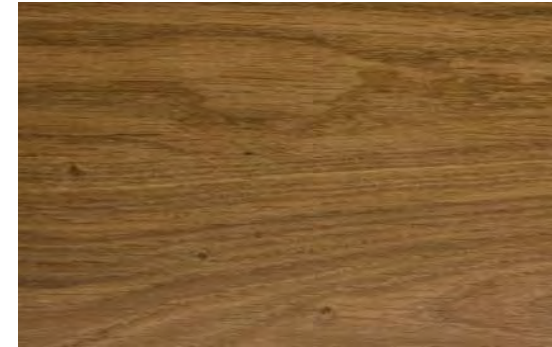
1.3 JamesHardie™
HardiePanel® Vertical Siding
Iron Gray



1.5 JamesHardie™
HardiePanel® Vertical Siding
Pearl Gray



1.2 sagiper
SAGIWALL - SIDING
Chocolate Blackwood (REF #3)



1.1 sagiper
SAGIWALL - SIDING
Knotty Maple (REF #79)



1.6 VERSETTA STONE®
LEDGESTONE STYLE STONE SIDING
Mission Point™



1.1 **1.2** EXAMPLE OF:
sagiper
SAGIWALL - SIDING
(colour may not be accurate)



2.1 EXAMPLE OF:
sagiper
SAGIREV - SOFFIT
(colour may not be accurate - see 1.1 above)

MATERIAL AND COLOUR LEGEND

Colour	Product	Finish (if applicable)	Manufacturer	Location
1.1 CLADDING				
1.1.1 Cedar	SAGIWALL (Vertical Siding #1)	Knotty Maple	Sagiper	Exterior Walls
1.1.2 Cedar	SAGIWALL (Vertical Siding #1)	Chocolate Blackwood	Sagiper	Exterior Walls
1.1.3 Dark Gray	HARDIEPANEL VERTICAL SIDING SMOOTH	Iron Gray	Jamestowne	Exterior Walls & Fire Walls & Feature Walls @ Corner Units
1.1.4 Iron Gray	HARDIEPANEL VERTICAL SIDING SMOOTH	Pearl Gray	Jamestowne	Exterior Walls & Fire Walls & Feature Walls @ Corner Units
1.1.5 Light Gray	HARDIEPANEL VERTICAL SIDING SMOOTH	White	Jamestowne	Exterior Walls & Fire Walls & Feature Walls @ Corner Units
1.1.6 Silver-Blue	VERSETTA Stone Ledgestone	Mission Point	Veretta Stone	Exterior Walls
1.2 SOFFIT				
1.2.1 Cedar	SAGIREV V-Grain	Knotty Maple	Sagiper	Roofs which have Black Fascia (R2)
1.2.2 Light Gray	HARDIEPANEL VERTICAL SIDING SMOOTH	Pearl Gray	Jamestowne	Roofs which have Light Gray Fascia (R2)

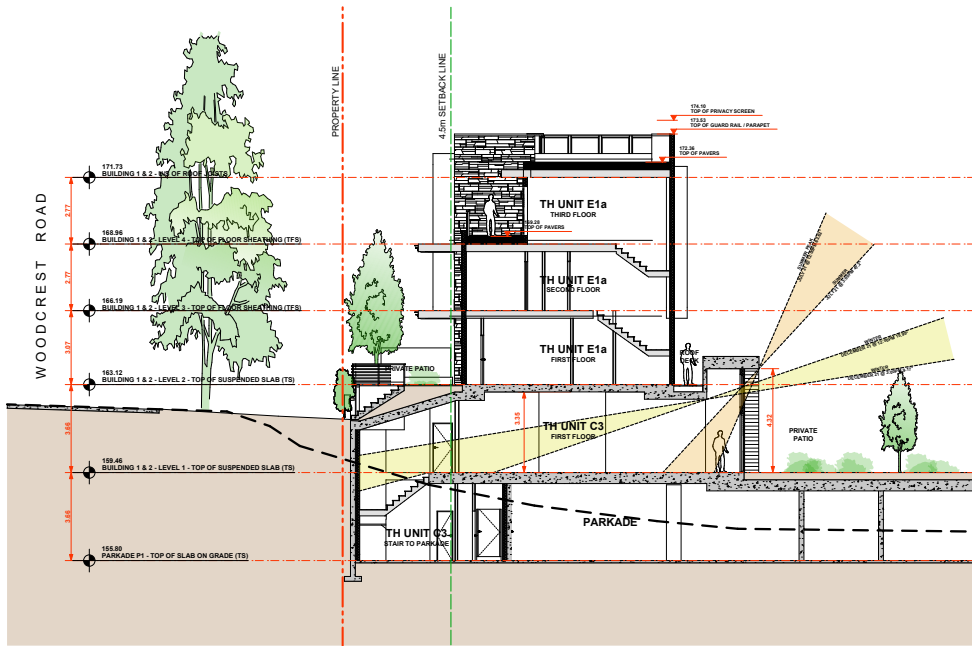
1.3 ROOFS				
1.3.1 Black	2-Layer SBC Membrane	Black	SBC Membrane	At the ends
1.3.2 Black	Aluminum or Wood Entry Doors	Exposed Wood Grain		
1.4 WINDOWS				
1.4.1 Dark Gray / Black	Vinyl Windows	Glass - Frames To Match 1.1		
1.5 DECK FACIAS				
1.5.1 Dark Gray	HARDIEPANEL BOARDS 6x4 FT/8' SMOOTH	Iron Gray	Jamestowne	
1.6 RAILINGS				
1.6.1 Dark Gray / Black	Aluminum Guard Railing	Glass - Frames To Match 1.1		

1.7 ACCESSORIES				
1.7.1 Dark Gray / Black	Roofing Gables and Gable Soffits	Glass - Frames To Match 1.1		
1.7.2 Cedar / Pearl Gray	Roof Deck Access Doors	Painted To Match 1.1		
1.8 STRUCTURE				
1.8.1 Wood	4x4 Gable Columns	Stain / Finish to be confirmed by Developer/Consultant/Shop Drawings	Feature Entry Columns	

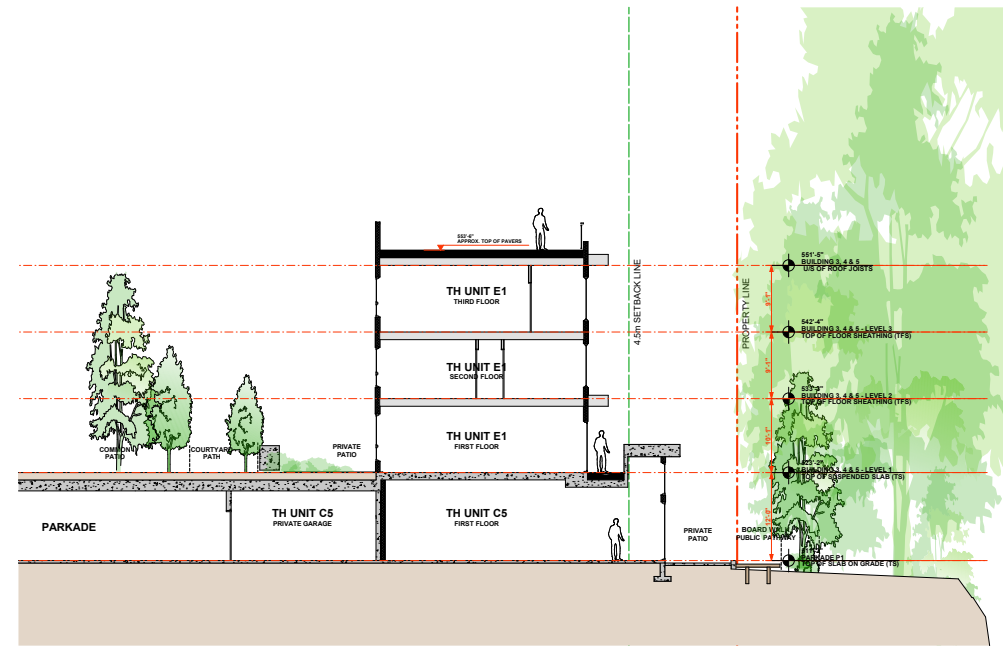
SIEGRIST

Material Board
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

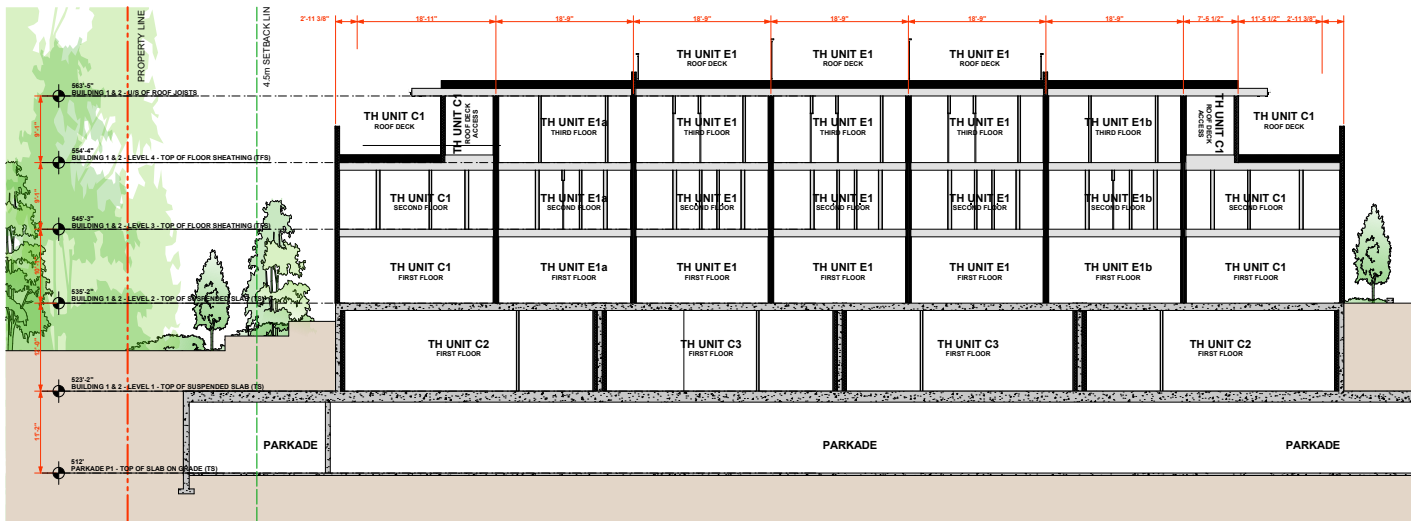
A-4.600



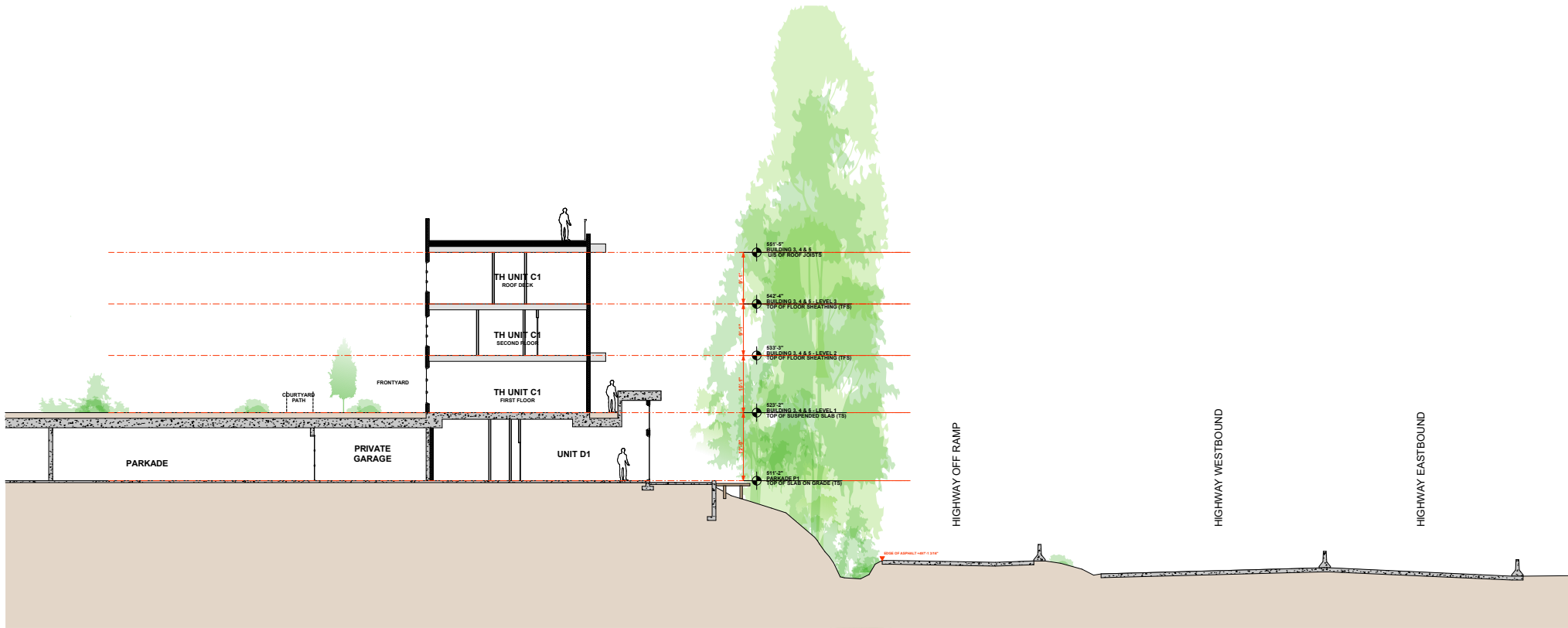
1 Site Section 1.1
SCALE: 1/8" = 1'-0"



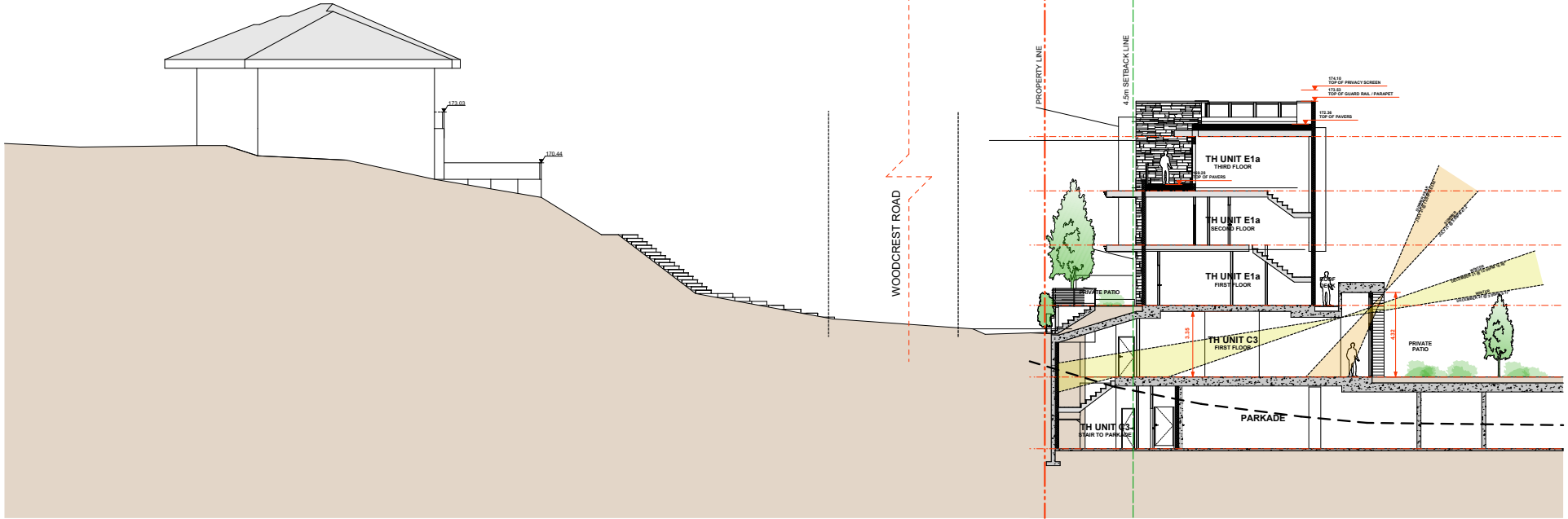
2 Site Section 1.2
SCALE: 1/8" = 1'-0"



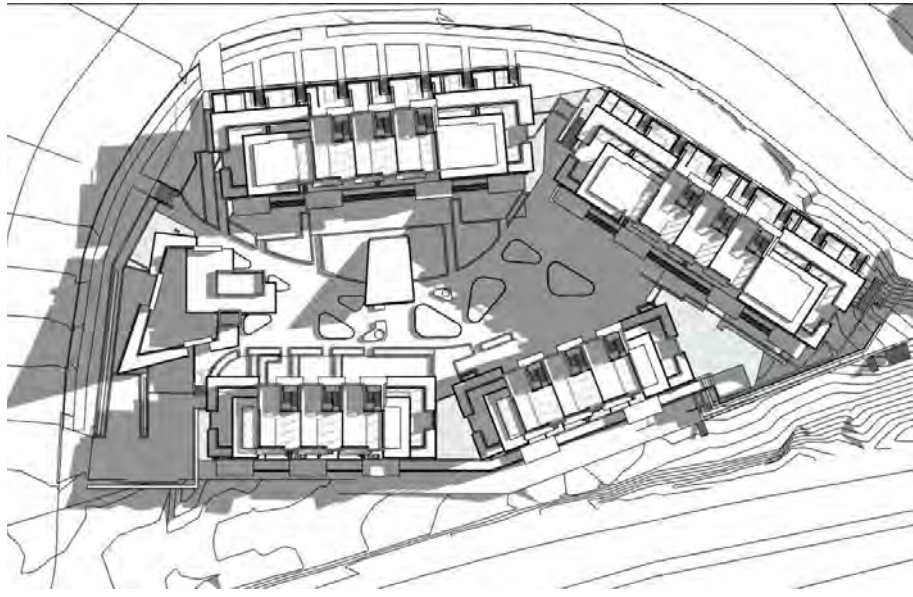
3 Site Section 2
SCALE: 1/8" = 1'-0"



4 Site Section 4
SCALE: 1/8" = 1'-0"



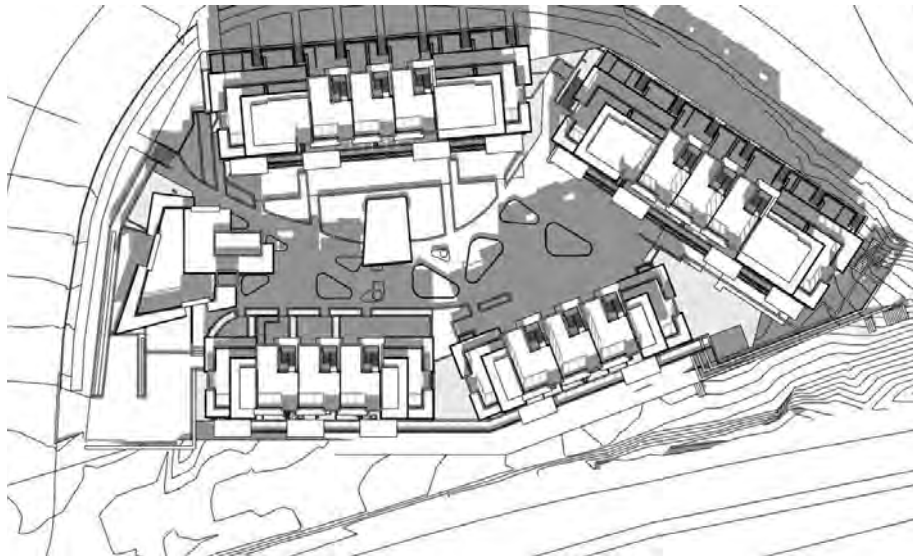
5 Site Section 3
SCALE: 1/8" = 1'-0"



3 March 21st @ 9AM
SCALE 1/4" = 1'-0"



2 March 21st @ 12PM
SCALE 1/4" = 1'-0"



3 March 21st @ 3PM
SCALE 1/4" = 1'-0"



4 March 21st @ 5PM
SCALE 1/4" = 1'-0"

SIEGRIST



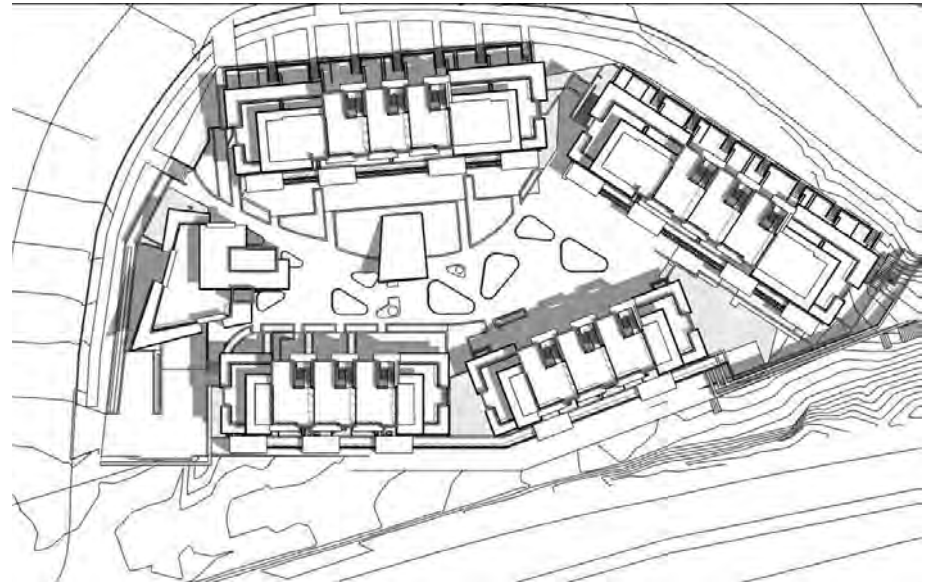
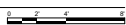
Shadow Studies - March 21st
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-8.310



1 July 21st @ 9AM

SCALE 1/4" = 1'-0"



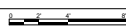
2 July 21st @ 12PM

SCALE 1/4" = 1'-0"



3 July 21st @ 3PM

SCALE 1/4" = 1'-0"



4 July 21st @ 5PM

SCALE 1/4" = 1'-0"

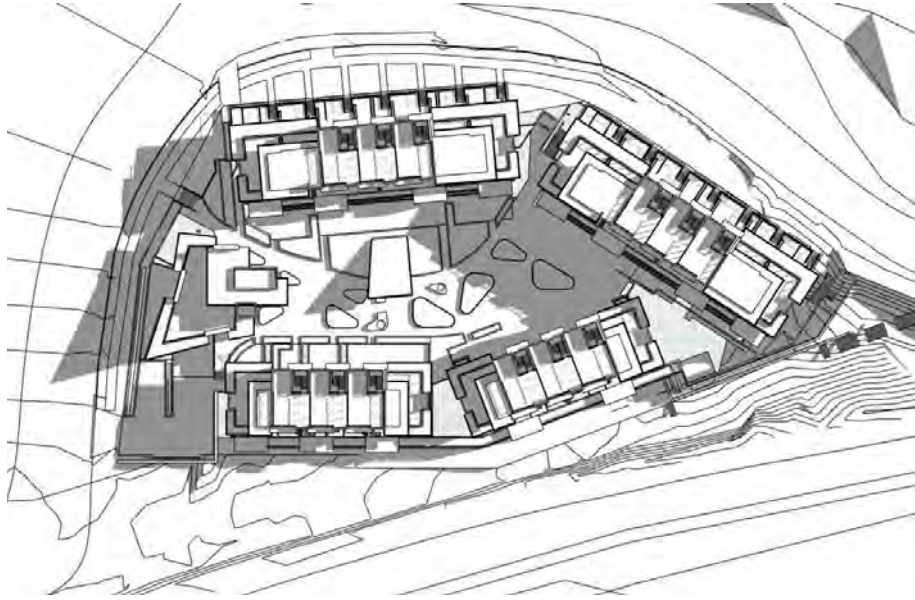


SIEGRIST



Shadow Studies - June 21st
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

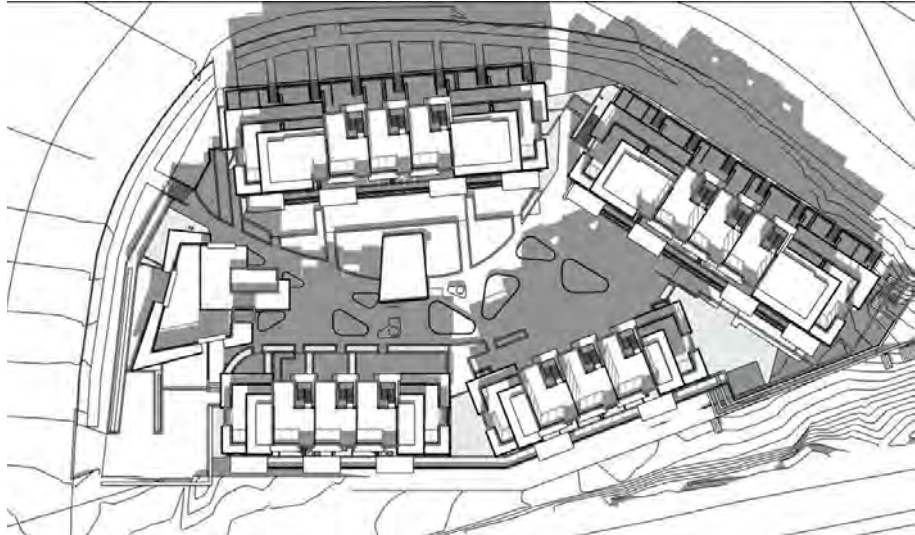
A-8.320



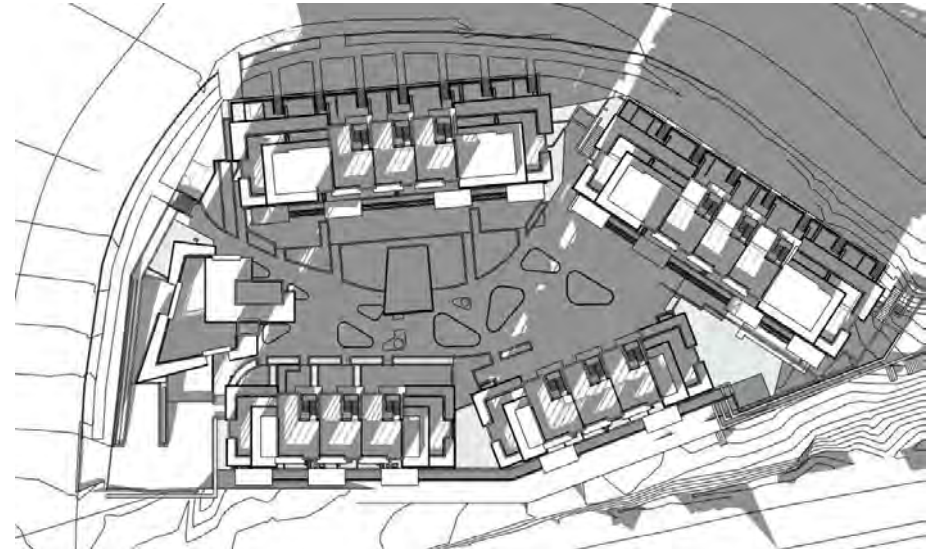
1 September 21st @ 9AM
SCALE 1/4" = 1'-0"



2 September 21st @ 12PM
SCALE 1/4" = 1'-0"



3 September 21st @ 3PM
SCALE 1/4" = 1'-0"

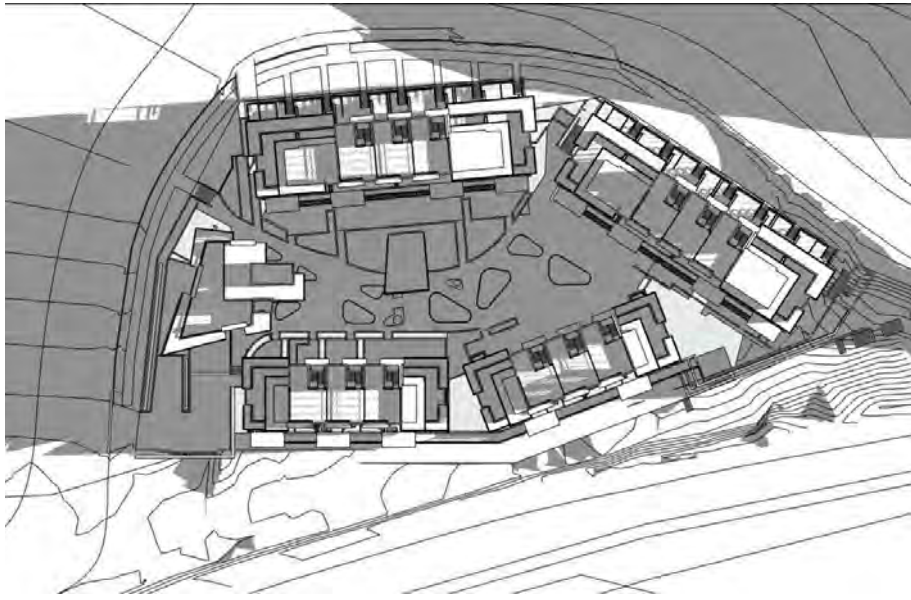


4 September 21st @ 5PM
SCALE 1/4" = 1'-0"

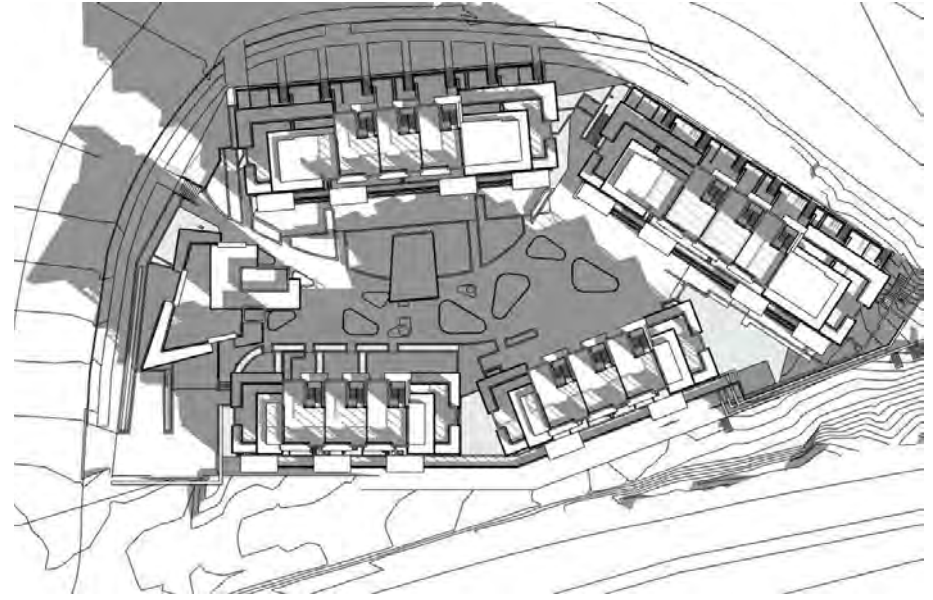
SIEGRIST



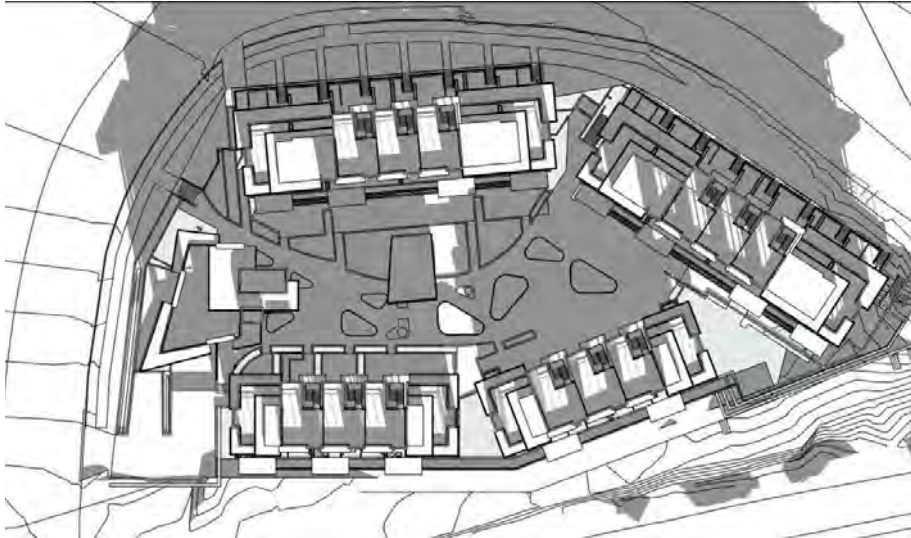
Shadow Studies - September 21st
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC
A-8.320



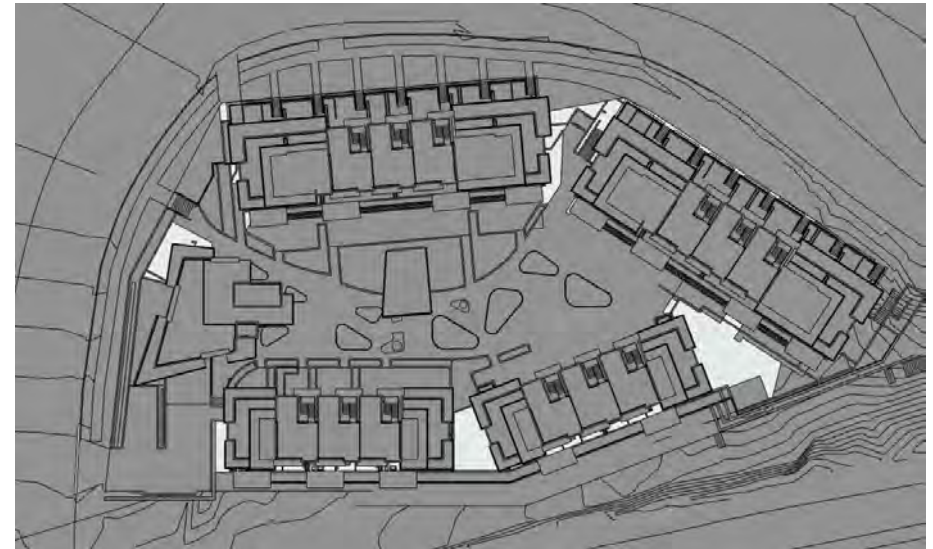
1 December 21st @ 9AM
SCALE 1/4" = 1'-0"



2 December 21st @ 12PM
SCALE 1/4" = 1'-0"



3 December 21st @ 3PM
SCALE 1/4" = 1'-0"



4 December 21st @ 5PM
SCALE 1/4" = 1'-0"

SIEGRIST



Shadow Studies - December 21st
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC
A-8.320

Schedule B

P+A
 Perry + Associates
 Landscape Architecture
 Site Planning
 112 East Broadway
 Vancouver, BC V5T 1V9
 T: 604.738.4118
 perryandassociates.ca



4	Issued for DP Resubmission	2024/04/11
3	Issued for Open House Presentation	2024/03/11
2	Re-issued for DP	2023/09/13
1	Issued for DP	2022/12/09
	Revision No.	Date

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Client: **SYMPHONY HOMES LIMITED**

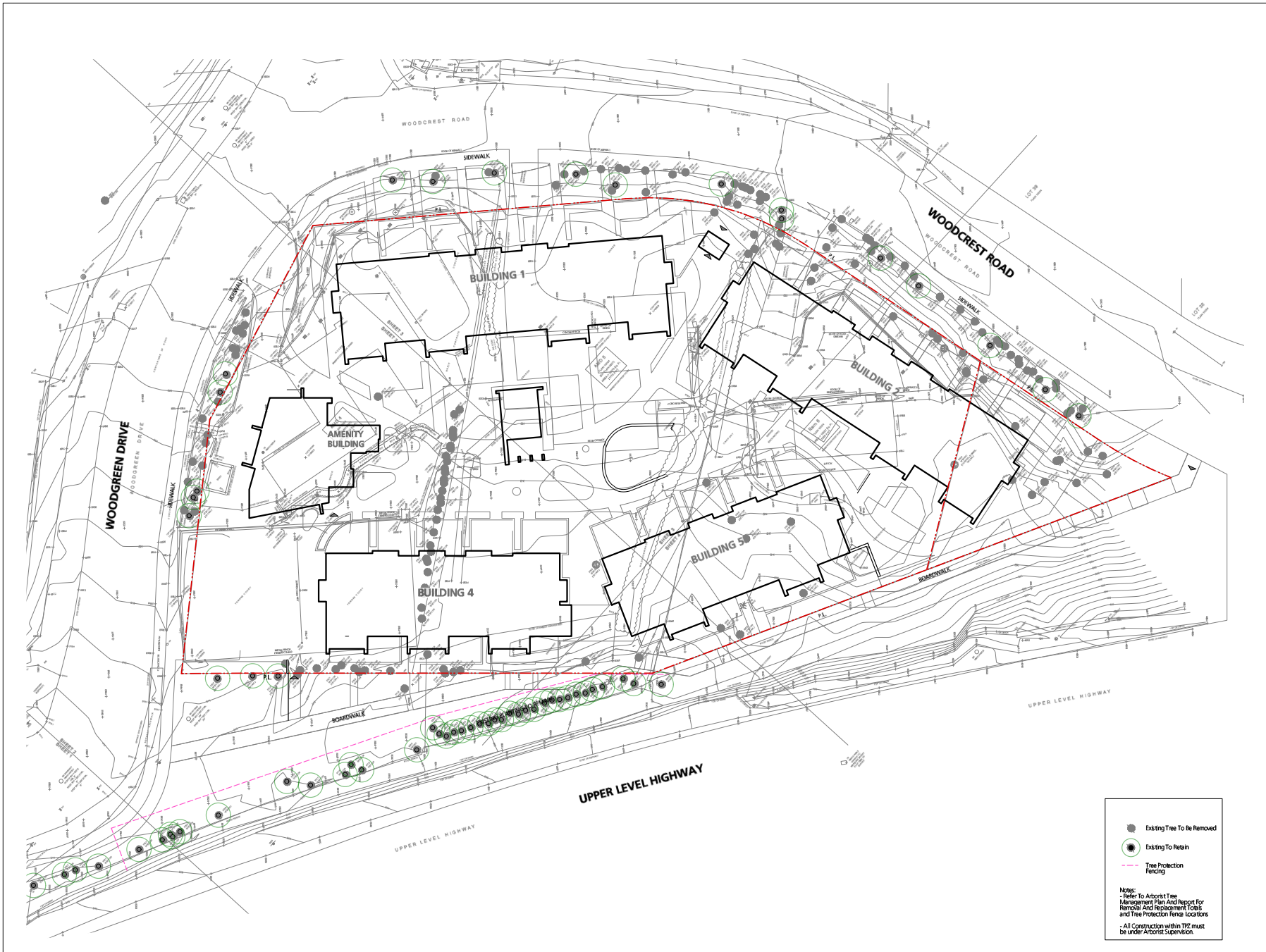
Project Title: **Woodgreen**

Drawing Title: **Landscape Overall Plan**

Project North:	Drawn By:	SJ
	Checked By:	MP
Scale:	Job No.:	22-030
	Sheet No.:	

L0.0

Plot Date: 2024/04/11



	Existing Tree To Be Removed
	Existing To Retain
	Tree Protection Fencing

Notes:
 - Refer To Attached Tree Management Plan And Report For Removal And Replacement Totals and Tree Protection Fence Locations
 - All Construction within T22 must be under Arborist Supervision.

4	Issued for DP Resubmission	2024/04/11
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Client:



Project Title: **Woodgreen**

Drawing Title: **Tree Management Plan**

Project North:	Drawn By:	SJ
	Checked By:	MP
Scale:	Job No.:	22-030
Sheet No.:		

L0.1

Plot Date: 2024/04/11



Existing Trees Proposed To Be Retained

Lighting Legend	Detail Key	
UP LIGHT	C.I.P. Concrete Paving	Boardwalk
DOWN LIGHT	Hydrapressed Slab	Custom Bench
DECORATIVE BOLLARD LIGHT	Concrete Unit Paving	Custom Metal Planter
LED STRIP LIGHT	Rubber Safety Surfacing	Custom Aluminum Gate
UP LIGHT IN WATER	Gravel Strip	Privacy Screen
CATENARY LIGHTING	C.I.P. Concrete Steps	Guardrail
	C.I.P. Concrete Planter Wall	Bike Rack
	Veneer Brick Wall	Water Feature
		Bar Table & Seating
		BBQ Counter
		Movable Table And Chair
		Fire Pit
		Play Equipment
		Lounge Table and Chair
		Trellis

- 4 Issued for DP Resubmission 2024/04/11
- 3 Issued for Open House Presentation 2024/03/11
- 2 Re-issued for DP 2023/09/13
- 1 Issued for DP 2022/12/09

Revision No. Date

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Client: SYMPHONY HOMES LIMITED

Project Title: **Woodgreen**

Drawing Title: **Landscape Key Plan - Ground Level**

Project North: Drawn By: SJ
Checked By: MP
Scale: 1:200 Job No.: 22-030
Sheet No.:

L1.0

Plot Date: 2024/04/11



Detail Key		
C.I.P. Concrete Paving	Boardwalk	Bar Table & Seating
Hydrapressed Slab	Custom Bench	BBQ Counter
Concrete Unit Paving	Custom Metal Planter	Moveable Table And Chair
Rubber Safety Surfacing	Custom Aluminum Gate	Fire Pit
Gravel Strip	Privacy Screen	Play Equipment
C.I.P. Concrete Stairs	Guardrail	Lounge Table and Chair
C.I.P. Concrete Planter Wall	Bike Rack	Trellis
Veneer Brick Wall	Water Feature	

- 4 Issued for DP Resubmission 2024/04/11
 - 3 Issued for Open House Presentation 2024/03/11
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Client: **SYMPHONY HOMES LIMITED**

Project Title: **Woodgreen**

Drawing Title: **Landscape Key Plan - Upper Level**

Project North: Drawn By: **SJ**

Scale: 1:200 Job No.: **22-030**
Checked By: **MP**
Sheet No.: **22-030**

L1.1

Plot Date: 2024/04/11



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3	Issued for Open House Presentation	2024/03/11
2	Re-issued for DP	2023/09/13
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Client:



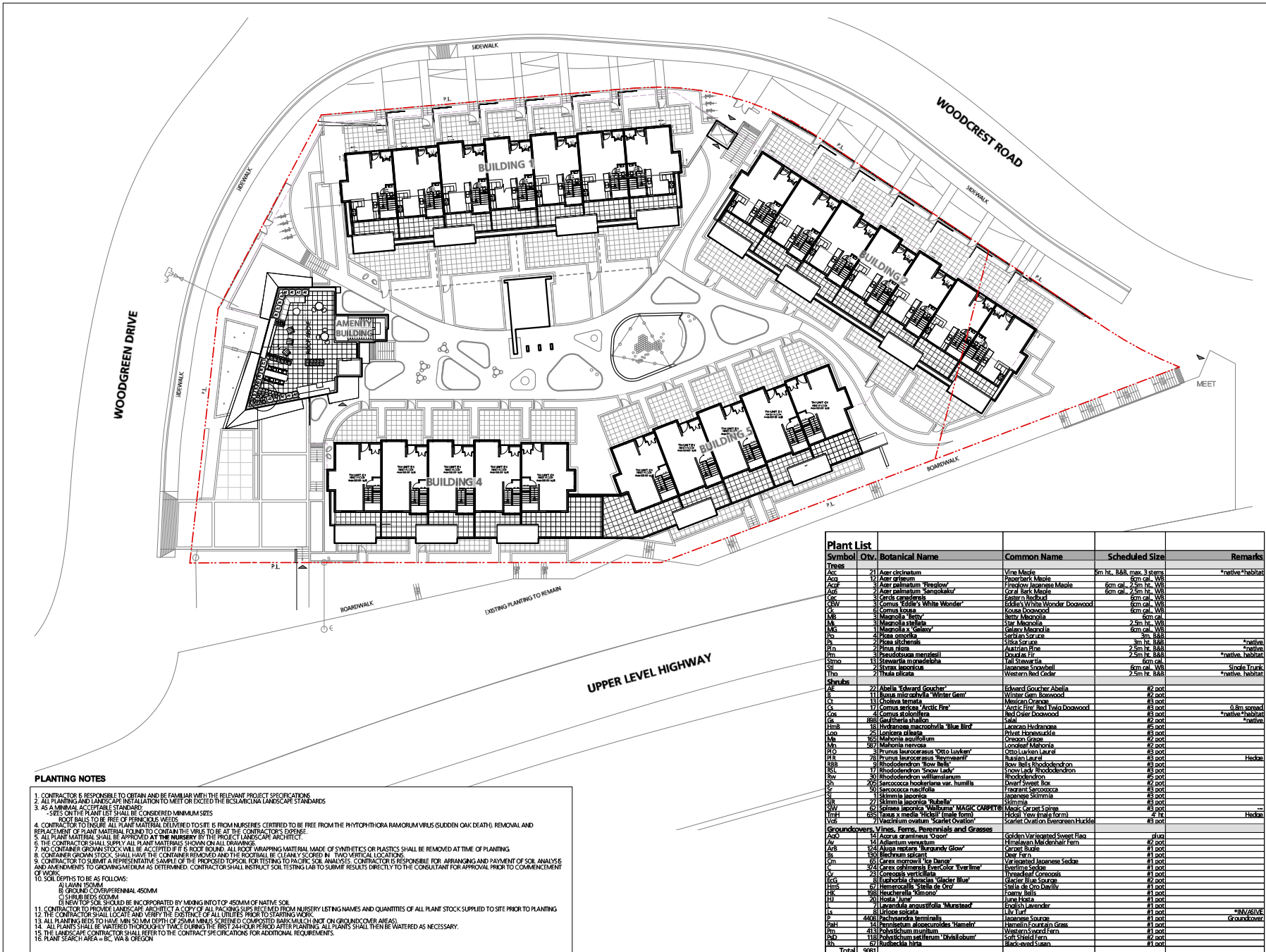
Project Title: **Woodgreen**

Drawing Title: **Landscape Grading Plan**

Project North:	Drawn By:	SJ
	Checked By:	MP
Scale:	Job No.:	22-030
Sheet No.:		

L2.0

Plot Date: 2024/04/11



PLANTING NOTES

- CONTRACTOR IS RESPONSIBLE TO OBTAIN AND BE FAMILIAR WITH THE RELEVANT PROJECT SPECIFICATIONS.
- ALL PLANTING AND LANDSCAPE INSTALLATION TO MEET OR EXCEED THE BCS/ARCA/LNA LANDSCAPE STANDARDS.
- AS A MINIMAL ACCEPTABLE STANDARD.
- CONTRACTOR TO ENSURE ALL PLANT MATERIAL DELIVERED TO SITE IS FROM NURSERIES CERTIFIED TO BE FREE FROM THE PHYTOPHTHORA RAMORUM VIRUS (GUDDEN OAK DEATH), REMOVAL AND REPLACEMENT OF PLANT MATERIAL EXCEEDING TO OBTAIN THIS VIRUS TO BE AT THE CONTRACTOR'S EXPENSE.
- ALL PLANT MATERIAL SHALL BE APPROVED AT THE NURSERY BY THE PROJECT LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS SHOWN ON ALL DRAWINGS.
- NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
- CONTAINER GROWN STOCK SHALL HAVE THE CONTAINER REMOVED AND THE ROOTBALL BE CLEANLY SCORED IN TWO VERTICAL LOCATIONS.
- CONTRACTOR TO SUBMIT A REPRESENTATIVE SAMPLE OF THE PROPOSED TOPSOIL FOR TESTING TO PACIFIC SOIL ANALYSIS. CONTRACTOR IS RESPONSIBLE FOR ARRANGING AND PAYMENT OF SOIL ANALYSIS AND AMENDMENTS TO GROWING MEDIUM AS DETERMINED. CONTRACTOR SHALL INSTRUCT SOIL TESTING LAB TO SUBMIT RESULTS DIRECTLY TO THE CONSULTANT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- SOIL DEPTHS TO BE AS FOLLOWS:
 - A) LAWN: 100MM
 - B) GROUND COVER/PERENNIAL: 450MM
 - C) SHRUBS: 900MM
 - D) NEW TOP SOIL SHOULD BE INCORPORATED BY MIXING INTO TOP 450MM OF NATIVE SOIL.
- CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT A COPY OF ALL PACKING SLIPS RECEIVED FROM NURSERY LISTING NAMES AND QUANTITIES OF ALL PLANT STOCK SUPPLIED TO SITE PRIOR TO PLANTING.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
- ALL PLANTING BEDS TO HAVE A MIN 50 MM DEPTH OF 50/50 MM SCREENED COMPOSTED BARK MULCH (1:1) ON GROUND COVER AREAS.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED AS NECESSARY.
- THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- PLANT SEARCH AREA: B.C. WA & OREGON.

Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
Ac	21	Acer circinatum	Vine Maple	5m Ht. B&B, max. 3 stems	*native, habitat
Ac	17	Acer glabrum	Spotted Maple	5m cal. WB	
Ac	3	Acer palmatum 'Fireglow'	Fireglow Japanese Maple	5m cal. 2.5m Ht. WB	
Ac	3	Acer palmatum 'Sango-kaku'	Crab Bark Maple	5m cal. 2.5m Ht. WB	
Ce	3	Cercis canadensis	Eastern Redbud	5m cal. WB	
Co	3	Cornus 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	5m cal. WB	
Co	6	Cornus kousa	Kousa Dogwood	5m cal. WB	
Ma	3	Maackelia 'Betty'	Betty Maackelia	5m cal.	
Ma	3	Maackelia sylvatica	Star Maackelia	2.5m Ht. WB	
Ma	1	Maackelia x 'Glenys'	Glenys Maackelia	5m cal. WB	
Pa	4	Poa annua	Stink Grass	3m	B&B
Pa	2	Poa trivialis	Stink Grass	3m Ht. B&B	*native
Pa	2	Poa annua	Australian	2.5m Ht. B&B	*native
Pa	3	Pseudotsuga menziesii	Douglas Fir	2.5m Ht. B&B	*native, habitat
Sp	13	Stemella nigra	T&L Spruce	5m cal.	
Sp	2	Styrax japonicus	Japanese Snowbell	5m cal. WB	Single Trunk
Sp	2	Thuja plicata	Western Red Cedar	2.5m Ht. B&B	*native, habitat
Shrubs					
Ab	27	Abelia 'Edward Goucher'	Edward Goucher Abelia	42 root	
Ab	11	Buxus microcarpa 'Winter Gem'	Winter Gem Japanese	42 root	
Co	13	Choliva tepala	Mexican Orange	42 root	
Co	17	Cornus sericea 'Asteri Fire'	Asteri Fire Red Twig Dogwood	42 root	(0.5m spacing)
Co	4	Cornus stolonifera	Red Osier Dogwood	42 root	*native, habitat
Co	888	Geothria thalictri	Salal	42 root	*native
Ge	15	Geopelia macrodonia 'Blue Bird'	Lanona Hydrocote	42 root	
Lo	25	Loiseleuria salicifolia	White Hydrangea	42 root	
Ma	85	Maackelia amurensis	Onopogon	42 root	
Ma	887	Maackelia henryana	Lorodol Mahonia	42 root	
Pr	3	Prunus laurocerasus 'Crispa Lankam'	Prunella Laurel	42 root	
Pr	78	Prunus laurocerasus 'Newmanii'	Swagon Laurel	42 root	Hedge
Rh	9	Rhododendron 'Bow Bell'	Bow Bell Rhododendron	42 root	
Rh	17	Rhododendron 'Snow Lady'	Snow Lady Rhododendron	42 root	
Rh	30	Rhododendron williamsianum	Rhododendron	42 root	
Sh	20	Sarcococca hookeriana var. humilis	Winter Sweet Box	42 root	
Sp	50	Sarcococca nuscifolia	Fraser's Sarcococca	42 root	
Sp	1	Skimmia japonica	Japanese Skimmia	42 root	
Sp	27	Skimmia japonica 'Rubra'	Skimmia	42 root	
Sp	1	Stemella nigra 'MAGIC CARPET'	Magic Carpet Spruce	42 root	
Sp	65	Yucca a. media 'Sticillii' (dwarf form)	Sticillii Yucca (dwarf form)	42 root	Hedge
VO	7	Vaccinium oxycocum 'Scarlet Ovation'	Scarlet Ovation Blueberry	42 root	
Groundcovers, Vines, Ferns, Perennials and Grasses					
Ac	14	Acorus gramineus 'Sagor'	Golden Variegated Sweet Flag	42 root	
Al	1	Aluminum verticillatum	Mountain Heronplant Fern	42 root	
Ar	124	Arisema 'Barunk Glow'	Barunk Glow	42 root	
Ba	130	Berchemia selocum	Blue Fern	42 root	
Ba	20	Berchemia repens 'Dimp'	Variegated Japanese Sack	42 root	
C	574	Carex oshimensis 'EverColor 'Evarline'	Everline Sedge	42 root	
C	21	Carex verticillata	Variegated Common	42 root	
Cl	8	Claytonia christiana 'Clayton Blue'	Clayton Blue Spring	42 root	
Cl	51	Heuchera 'Sally de Oro'	Sally de Oro Heuchera	42 root	
Cl	988	Heuchera 'Kimonoi'	Foamy Bell	42 root	
Cl	20	Hosta 'June King'	June King	42 root	
Cl	1	Leptandra angustifolia 'Mustard'	Leptandra	42 root	
Cl	8	Liriope selago	Lily Turf	42 root	
Cl	469	Leptandra tenuifolia	Leptandra Sedge	42 root	B&B/SIDE
Cl	14	Leptandrium alcockianoides 'Manly'	Manly Leptandrium Grass	42 root	Groundcover
Cl	43	Polystichum tenuifolium	Western Shield Fern	42 root	
Cl	118	Polystichum setilellum 'Dobisilobum'	Soft Shield Fern	42 root	
Cl	62	Polystichum tenuifolium	Black-moss Fern	42 root	
Total	9081				

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- 1 Issued for DP 2022/12/09

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Project Title: **Woodgreen**

Drawing Title: **Landscape Planting Plan**

Project North: Drawn By: SJ
 Checked By: MP

Scale: 1:200 Job No.: 22-030
 Sheet No.:

L3.1

Plot Date: 2024/04/11



PROPOSED SOIL DEPTH

- ON SLAB 600 - 900mm
- 900mm
- ON GRADE**
- 600mm

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Client: **SYMPHONY HOMES LIMITED**

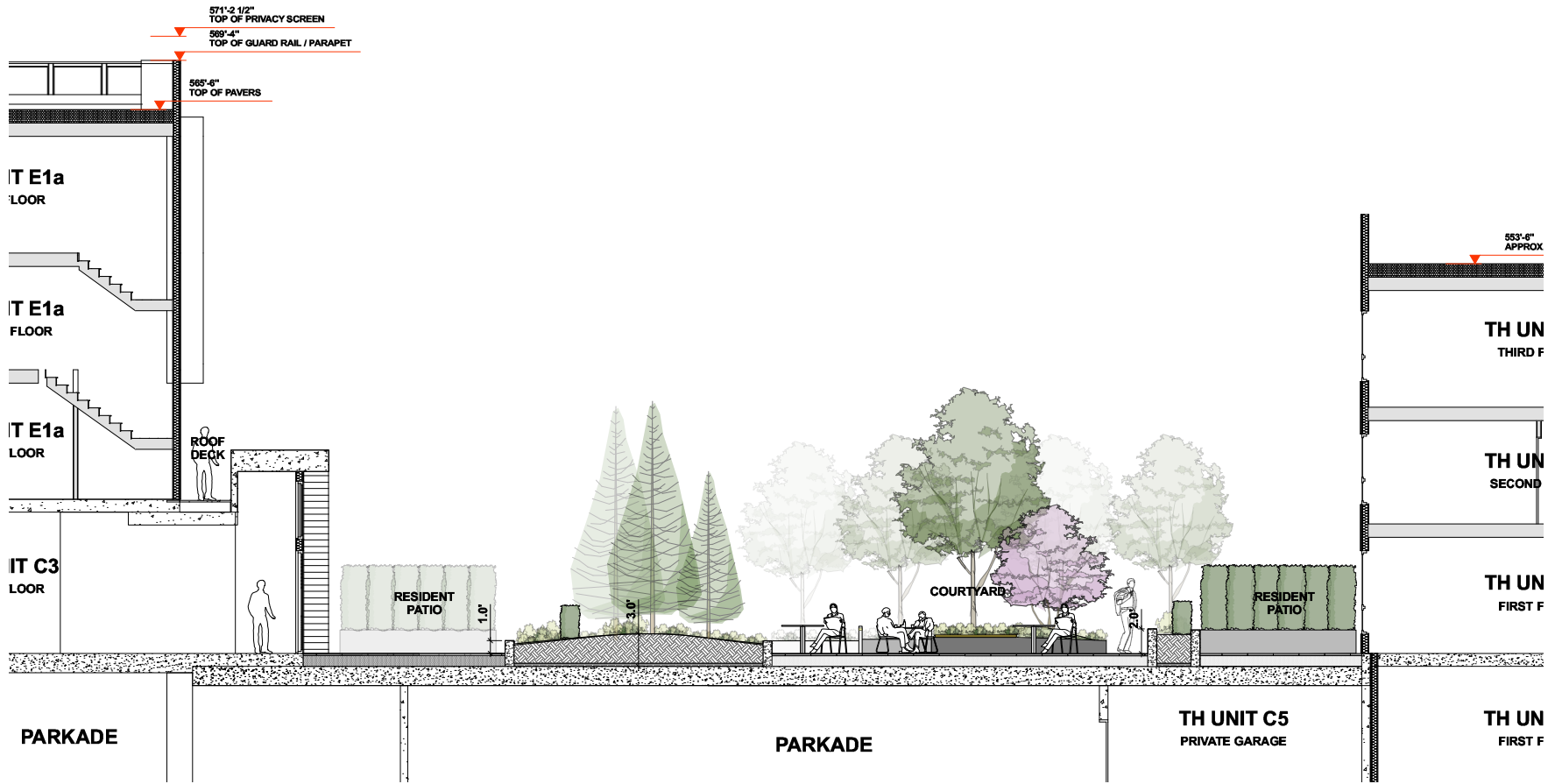
Project Title: **Woodgreen**

Drawing Title: **Landscape Soil Depth Chart**

Project North: Drawn By: SJ
Checked By: MP
Scale: 1:200 Job No.: 22-030
Sheet No.:

L3.2

Plot Date: 2024/04/11



4 Amenity Courtyard

- 3 Issued for DP Resubmission 2024/04/11
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Client:
 SYMPHONY HOMES LIMITED

Project Title:
Woodgreen

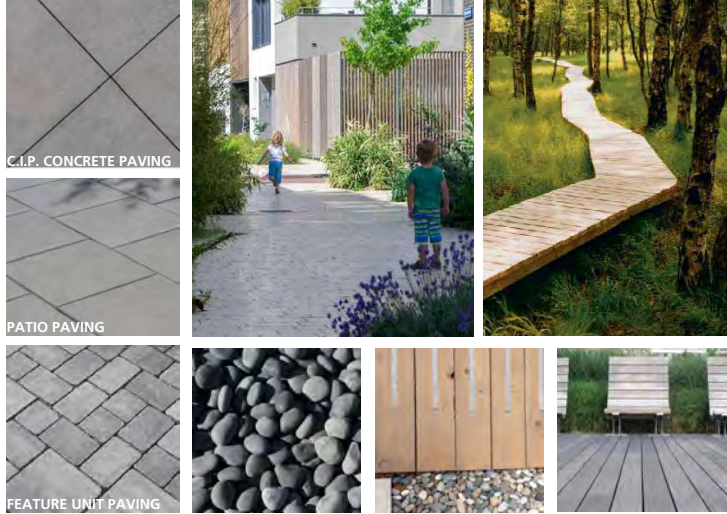
Drawing Title:
Courtyard Section

Project North: Drawn By: SJ
 Checked By: MP
 Scale: 1:50 Job No.: 22-030
 Sheet No.:

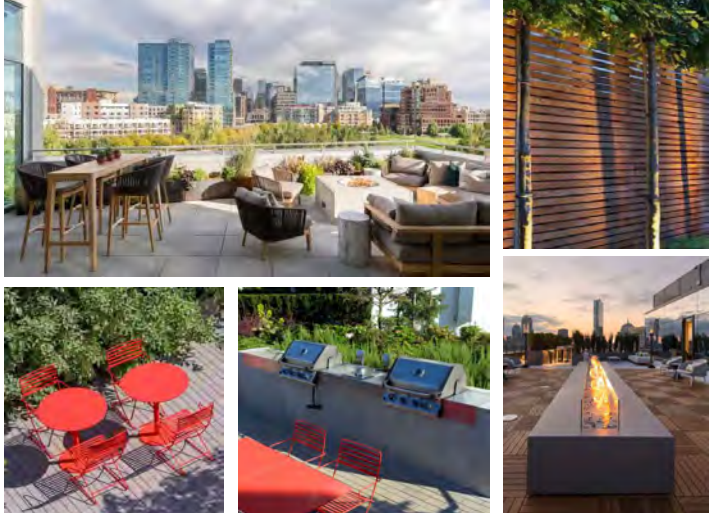
L4.0

Plot Date: 2024/04/11

LANDSCAPE PAVING



ROOFTOP AMENITY



PLANTING



FLEX USE PLAY



COURTYARD PLANTING



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Client:



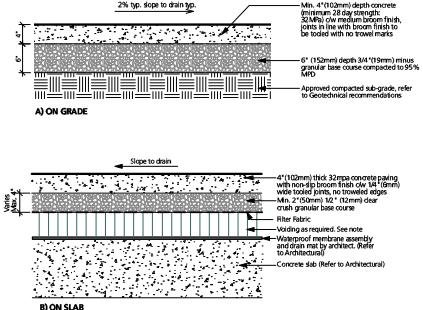
Project Title: **Woodgreen**

Drawing Title: **Precedent Image Board**

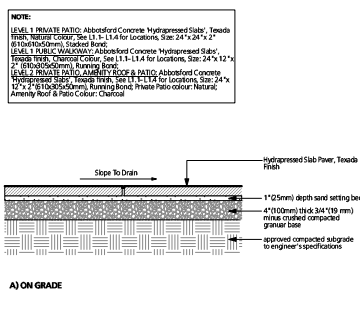
Project North:	Drawn By:	SJ
	Checked By:	MP
Scale:	Job No.:	22-030
	Sheet No.:	

L5.0

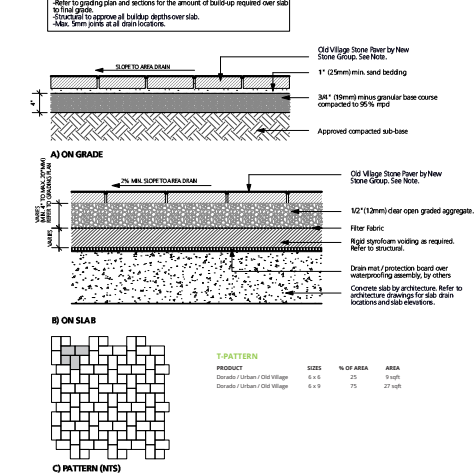
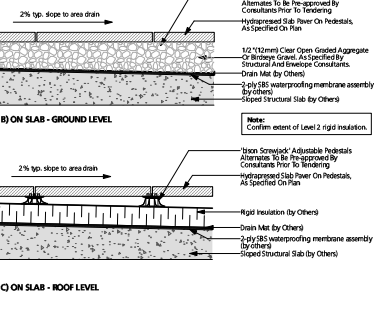
Plot Date: 2024/04/11



1 CIP Concrete Paving
1"=1'-0"

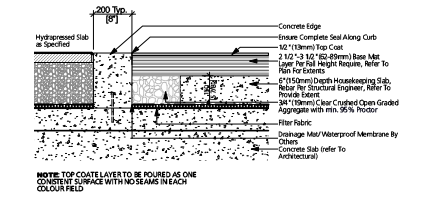


2 Hydrpressed Unit Paving
1"=1'-0"

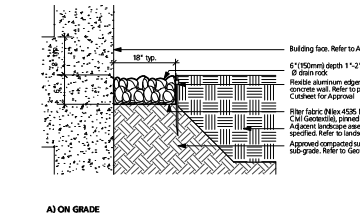


3 Concrete Unit Paving
1"=1'-0"

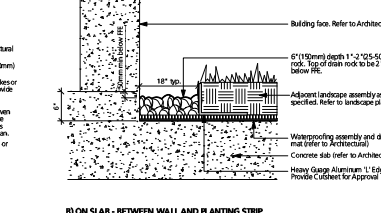
PRODUCT	SIZES	% OF AREA	AREA
Concrete Unit Paving	6 x 6	25	9 sqft
Concrete Unit Paving	6 x 8	75	27 sqft



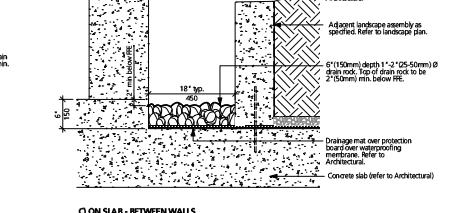
4 P.I.P. Rubber Surface
1"=1'-0"



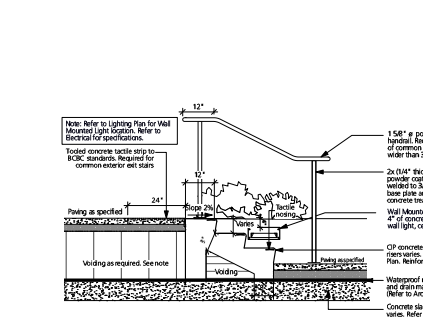
5 Gravel Strip
1"=1'-0"



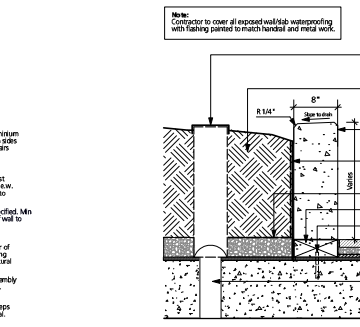
3 ON SLAB - BETWEEN WALL AND PLANTING STRIP



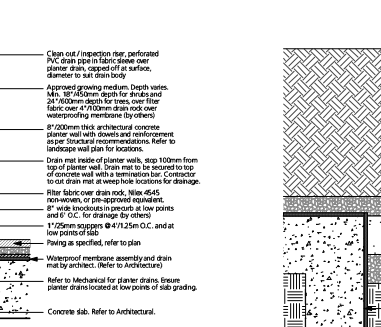
3 ON SLAB - BETWEEN WALLS



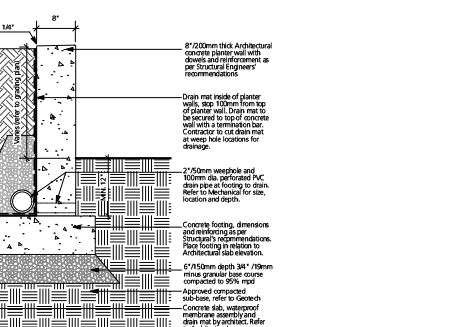
6 Concrete Slab w/ Handrail
1"=1'-0"



7 CIP Concrete Retaining/ Planter Wall
1"=1'-0"



3 ON GRADE



3 ON GRADE

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Project Title: **Woodgreen**

Drawing Title: **Landscape Details**

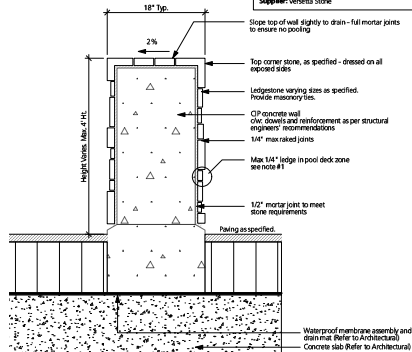
Project North:	Drawn By:	SJ
	Checked By:	MP
Scale:	Job No.:	22-030
Sheet No.:	As Shown	

L6.0

Plot Date: 2024/04/11

NOTE: PROVIDE MOCK-UP OF WALL COUPLING FOR REVIEW AND APPROVAL.

LIDGESTONE STYLE SIDING SPECIFICATION
Dimensions: Linear Rectangular Shape - Dimensions Vary From 8-1/2" thick covers 2 sqft
Collection: Siding
Material: Mortarless Stone Panels with Authentic Cast Stone
Supplier: Venetia Stone



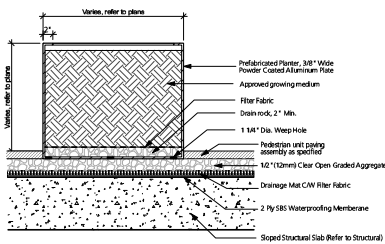
8 Veneer Brick Wall
1"=1'-0"



PRECEDENT IMAGE

9 Boardwalk
1"=1'-0"

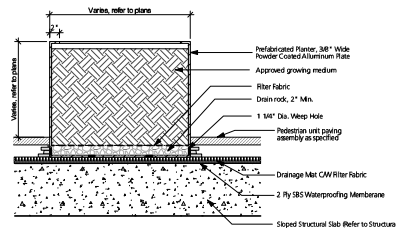
Custom Metal Planter
Width: Refer to plan for width, radius and dimension of each planter
Material: Aluminum
Color: Finish: Dark, UV rated powder coat, color to be confirmed by LA
Note:
- Refer to include drainage holes and a 1" top lip
- Provide shop drawings to be approved by Landscape Architect
- Both top of planter grades to be 20mm above FS. Provide sloping as required below planter.
Available at Green Theory Design or pre-approved equivalent.
Website: <http://www.greentheorydesign.com/custom-planters>
Tel: 1-844-747-9283



A) L1 ON SLAB

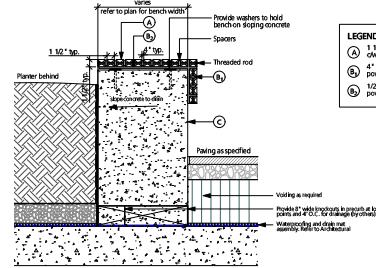


TYPE B - RECTANGULAR SHAPE



B) L2 ON SLAB

LEGEND
1 1/2" x 1 1/2" 1" be wood ok standard (or finish)
4" thick steel bracket powder coated (RAL 7048)
1/2" thick steel bracket (bracket powder coated (RAL 7048))
Concrete wall, light sandblast finish at all exposed faces.

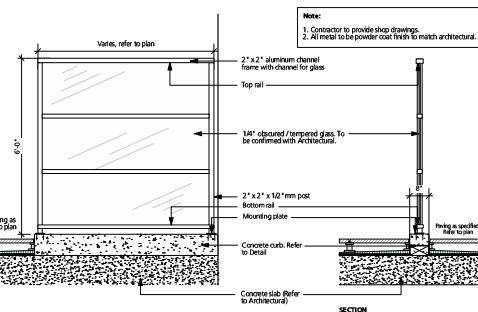


10 Conc. Seat Wall
1"=1'-0"

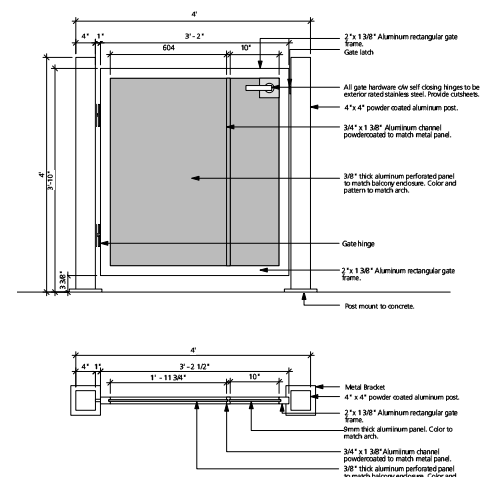


TYPE B - ROUND SHAPE

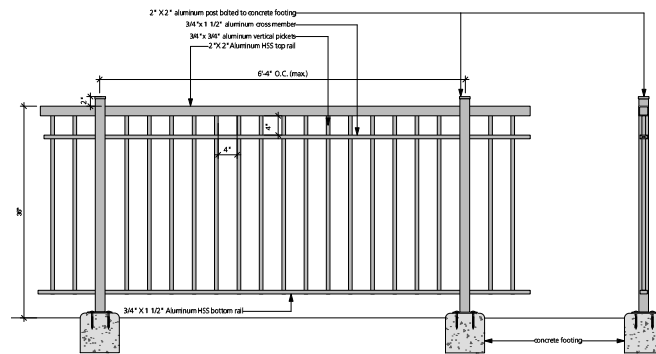
11 Metal Planter
1"=1'-0"



11 Privacy Screen
1/2"=1'-0"



12 Custom Patio Gate
1"=1'-0"



14 Guardrail
1"=1'-0"

3 Issued for DP Resubmission 2024/04/11
2 Re-issued for DP 2023/09/13
1 Issued for DP 2022/12/09
Revision No. Date

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Client:



Project Title: **Woodgreen**

Drawing Title: **Landscape Details**

Project North: Drawn By: SJ

Checked By: MP

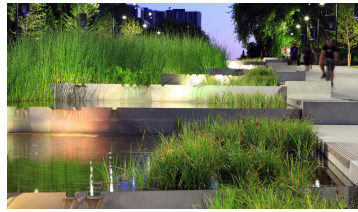
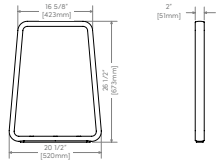
Scale: As Shown Job No.: 22-030

Sheet No. 22-030

L6.1

Plot Date: 2024/04/11

Model: Iconic Bike Rack
Manufacturer: Maglin
Colour: Gunmetal
Material: Powdercoated Metal
Contact: maglin.com
Installation: Mount as per manufacturer's specifications
Quantity: 16



PRECEDENT IMAGE

Model: Chairman Stool
Manufacturer: Landscape Forms
Colour: Stormcloud
Material: Powdercoated Metal
Size: 19" x 22" x 35"
Contact: landscapiforms.com
Installation: Mount as per manufacturer's specifications
Quantity: 6

Model: Go Outdoor Table
Manufacturer: Landscape Forms
Colour: Stormcloud
Material: Powdercoated Metal
Size: Standing height, 30" x 114" x 40.5"
Contact: landscapiforms.com
Installation: Mount as per manufacturer's specifications
Quantity: 1



PRECEDENT IMAGE

15 Bike Rack
 NTS

16 Water Feature
 NTS

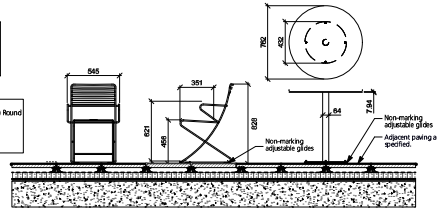
17 Bar Table & Seating
 1/2" = 1'-0"



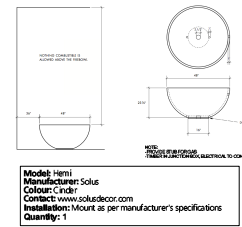
18 BBQ Station
 NTS

Product: Movable Chairs
Model: Parc Centre Chair, with Arms
Dimensions: 21" x 22" x 36"
Manufacturer: Landscape Forms
www.landscapiforms.com
Quantity: TBD

Product: Movable Tables
Model: Parc Centre Table, 762mm(30") Round
Dimensions: 762mm(30")
Manufacturer: Landscape Forms
www.landscapiforms.com
Quantity: TBD

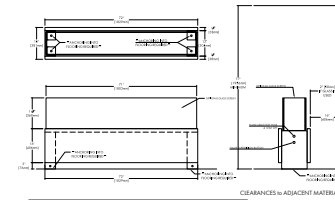


19 Moveable Table and Chairs
 1/2" = 1'-0"



A) ROUND FIRE PIT

20 Fire Pit
 NTS



Model: Linear Fire Pit
Manufacturer: Solus
Colour: Cinder
Contact: www.solusdecor.com
Installation: Mount as per manufacturer's specifications
Quantity: 1

B) LINEAR FIRE PIT

earthscape

PRODUCT INFORMATION

Moku-Yama 4.1 has been designed with world-renowned Japanese architecture firm, Kenjo Kuma & Associates. Moku-Yama translates from Japanese to Wood Mountain which aptly describes the impressive floating peaks and valleys of this structure. Moku-Yama 4.1 is built around 4 pods and has two access points. It is the smallest configuration in this family of products.

CSA Z614

MOKU-YAMA 4.1

Intended user age: 5-12

Maximum height: 3.2 m
 Maximum fall height: 2.2 m
 Area of Safety Surfacing: 47.6 m²
 User Capacity: 24

The highest designated play surface and lowest reserved air clearance is 3.2m(10.5'). A buffer is required in the fall zone to account for user's momentum during play.

Resilient safety surfacing to be received within the fall zone of equipment.

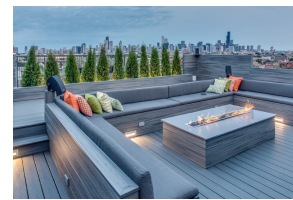
If you have questions about the equipment, please contact Earthscape Collections of www.earthscapelandscapes.com

21 Play Equipment
 NTS

22 Lounge Seating
 NTS

Maglin 720 Chair
Model: MC-0720-00001
Qty: TBD
Material: Thermally modified ash wood
Finish: Provide Maglin standard finishes for both light wood and steel. Steel to be powdercoat. Gunmetal (grey finish).
Installation: Surface mount, bolted into place with tamper proof bolts. Refer to manufacturer's specifications.

Available from Maglin Site Furnitures
 Website: www.maglin.com
 Tel: (855) 304-0250 (center franco)



PRECEDENT IMAGE
 LOUNGING SEAT TYPE A - PRODUCT TBD



PRECEDENT IMAGE
 LOUNGING SEAT TYPE B

3 Issued for DP Resubmission 2024/04/11
 2 Re-Issued for DP 2023/09/13
 1 Issued for DP 2022/12/09
 Revision No. Date

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Client: **SYMPHONY HOMES LIMITED**

Project Title: **Woodgreen**

Drawing Title: **Landscape Details**

Project North: Drawn By: **SJ**
 Checked By: **MP**
 Scale: As Shown Job No.: **22-030**
 Sheet No.:

L6.2

Plot Date: 2024/04/11



Richard Lange
3682 East 47th Avenue, Vancouver BC, V5S-1E4
richard_lange@hotmail.com
778-995-2010

May 6, 2024

Gurdeep Kainth
Symphony Group of Companies
Unit 234 – 4820 Kingsway
Burnaby BC, V5H-4J2
Phone: 604-671-7878
Email: gurdeep@symphonygroup.ca

Attention: Gurdeep Kainth

Re: Revised Arborist Report for Development at 4450, 4460 Woodcrest Road & 4504 Woodgreen Drive, West Vancouver

Summary:

In the initial arborist report¹ (dated August 18, 2022) **178** trees out of **219** assessed were recommended for removal. After municipal review an additional **66** trees, located primarily along the perimeters of Woodcrest Road (to the east and northeast) and along the perimeter of Woodgreen Drive (to the west) were thought retainable if the municipal sidewalk plans along both these roads allowed a little extra clearance/room.

Arborist Supervision is recommended for the **66** additional trees during the construction of adjacent sidewalks/walkways, as well as, any excavation or grading required near the trees for landscaping at the perimeter of development. It is possible that some of these retainable trees will have to be removed if the impact to Critical Root Zones (CRZs²) is unexpectedly high and possibly destabilizing to the tree. The following trees are retainable with arborist supervision.

- **20** Trees (#8 – #20) along the Woodgreen Drive perimeter
- **46** Trees (#1 – #4, #176 – #173, #171, #170, #166, #163, #161, #160, #156 – #152, #148 – #146, #140, #139, #134, #130, #129, #126, #124, #118, #114, #109 – #102 and #99 – #96) along the Woodcrest Road perimeter.

1 Richard Lange – Tree MD[®] Consulting, *Revised Arborist Report for Development at 4450, 4460 Woodcrest Road & 4504 Woodgreen Drive, West Vancouver*, August 18, 2022.

2 CRZ = Critical Root Zone is the crucial area around the tree where roots function to provide structural support and maintain tree health. Often formulated as a radius from the trunk = 6 × DBH.

- **112 Removals;**

- Of the total of **112** removals, 7 are dead snags
- All the trees on-site (that are within and on/or near the property lines) including on the vacant lot to the south (REM Lot 7 at 4430 Woodcrest Road) will have to be removed to allow room for the development
 - **5** Trees are permit sized (≥ 75 cm DBH³) and are located within the property lines
 - **4** Western redcedars (tree #83 – #86) – *Thuja plicata*, measuring 100 cm – 111 cm DBH \times 22 – 24 m height are located in the backyard of 4450 Woodcrest Road
 - **1** Douglas-fir (tree #142) – *Pseudotsuga menziesii*, measuring 75 cm DBH \times 20 m height is located in the front yard of 4450 Woodcrest Road near the entrance driveway.
 - **3** Trees are permit sized (≥ 75 cm DBH) and are located on or just beyond the property lines
 - **2** Douglas-fir (trees #30 & #34) – *Pseudotsuga menziesii*, measuring 80 cm – 86 cm DBH \times 16 m height are located just beyond the southwest property line of 4504 Woodgreen Drive.
 - **1** Western redcedar (tree #32) – *Thuja plicata*, measuring 78 cm DBH \times 16 m height is located just beyond the southwest property line of 4504 Woodgreen Drive.
 - **1** Tree is species protected⁴ at > 20 cm DBH
 - **1** Pacific dogwood (tree #87) – *Cornus nuttallii*, measuring 37 cm DBH \times 11 m height, is located on the southeast property line of 4450 Woodcrest Road.
- Of the trees along the Woodgreen Drive and Woodcrest Road boulevards that are to be removed for sidewalk/crosswalk enhancements along the east, north and west perimeters,
 - Most have been topped multiple times in the past and are in poor to fair condition, the majority of which contain co-dominant stem defects.
 - **1** Tree is species protected at > 20 cm DBH
 - **1** Shore pine (tree #5) – *Pinus contorta* subsp. *contorta*, measuring 24 cm DBH \times 10 m height, is located on the Woodcrest Road boulevard in front of 4504 Woodgreen Drive.
 - There are **3** small Arbutus (trees #6, #7, & #131) – *Arbutus menziesii* that are not protected because they measure < 20 cm DBH.
- A couple of off-site dead snags (trees #179 & #180) bordering at the south corner of 4460 Woodgreen Drive are recommended for removal to allow room for the proposed nature trail along the south and southwest perimeter.
- The trees (#88 – #95) located at the southeast corner of the vacant lot (REM Lot 7 at 4430 Woodcrest Road) will also need to be removed to allow room for the proposed community node linking the nature trail to the node at the west concern of the development.

3 DBH = Diameter at Breast Height. It is a standard measurement taken at a height of 1.4 m above the highest immediately adjacent natural ground level to indicate the size of the tree.

4 As listed under Subsection 4.3, Protected Trees, of the District of West Vancouver's Tree Bylaw 4892, 2016, these species are protected if they measure > 20 cm DBH.

- **Replacement tree** totals will be decided upon by municipal authorities utilizing compensatory provisions for the removal of trees in accordance with the District of West Vancouver's Tree Bylaw 4892, 2016.
 - A Landscape Plan showing the placement and species of replacement trees can then be prepared. Replacement tree planting/placement, size, and species/type will comply with municipal regulations and with the most recent circulation of the American National Standards Institute (ANSI) A300 Standards⁵ for the management of trees, shrubs and other woody plants.
- **Tree Protection Barriers/Fences (TPBs⁶)** are recommended to protect the remaining trees (#177 – #214) located along the Trans-Canada Hwy #1 sound barrier fence/wall.
 - A single continuous TPB can be erected down the length of the hedge row, placed 2.5 m away from the trunk to protect the largest of Critical Root Zones (CRZs⁷).
 - These trees measure 15 cm – 40 cm DBH and form a privacy/sound barrier row/hedge near the Hwy #1 fence/wall.
 - The rest of the trees (#215 - #219) west of #214 are sufficiently distant from planned construction activities and require no TPB.
 - **TPBs** are to remain in place, as built, unless arborist supervision is required to move or modify them in order for approved work to proceed within the CRZs. TPBs are to be maintained in good condition, and the area within the TPBs are to be left free; no construction debris, materials, or equipment are allowed to be stored within.
- **Periodic on-site arborist visits** are recommended; to monitor the health of retained trees during construction, to ensure that TPBs are maintained in good condition, and that the CRZ area within the TPBs are respected and free of construction debris, materials and/or equipment.

5 ANSI A300 (Part 6) – 2018; *Tree, Shrub, and Other Woody Plant Maintenance – Standard Practices (Planting and Transplanting)* and its companion publication; *Best Management Practices – Tree Planting (2nd Edition)*, ISA, 2014

6 TPB = Tree Protection Barrier – Is a barrier or fence protecting the tree's Critical Root Zone (CRZ)

7 CRZ = Critical Root Zone is the crucial area around the tree where roots function to provide structural support and maintain tree health. Often formulated as a radius = 6 × DBH from the surface of the trunk.

Introduction:

The purpose of this report was to assess the impact to trees from the Woodcrest Townhomes development at 4460, 4450 Woodcrest Road & 4504 Woodgreen Drive, West Vancouver. The development is to encompass 4 lots; the 3 at 4460, 4450 Woodcrest Road & 4504 Woodgreen Drive, as well as, the neighbouring vacant lot REM 7 at 4430 Woodcrest Road. Most of the trees within/near the property lines will have to be removed for the development of the structural elements (which include buildings with associated patios and the parkade). A few trees will need to be removed at the southeast corner of the vacant lot REM 7 at 4430 Woodcrest Road for the proposed development of a community node. And a couple of dead trees located at the south corner of 4460 Woodgreen Drive for the development of a nature trail linking the east and west community nodes at the south end of the site. Originally, the initial arborist report (dated August 18, 2022) recommended removal of all the boulevard trees along Woodgreen Drive and Woodcrest Road for sidewalk/crosswalk enhancements along the north and east and west perimeters. This revision, however, now includes the retention of 66 of those trees after municipal review. This report is needed to fulfill municipal requirements associated with the project and for the removal of trees conflicting with the project plans. This report was written by Richard Lange of Tree MD® Consulting for Gurdeep Kainth of Symphony Group of Companies – the developer, as an initial part of a tree preservation and management plan. This revision was written on May 6, 2024, after municipal review on September 21, 2023 in which the candidates for retention were presented. The original report was written on August 18, 2022, after visiting/inspecting the site on May 17, 26, 27, 2022 and again on August 12, 13, 2022.

Method:

The site inspection occurred during daylight hours and the weather conditions varied from sunny to overcast. I talked with Gurdeep Kainth of Symphony Group of Companies – the developer over the phone about the project. I reviewed the plans and surveys sent via email correspondence before attending/visiting the site. Once on site, I walked the site to identify any issues that could impact trees, both off-site and on-site. All trees with a DBH or a combined stem DBH of greater than 15 cm were considered. Diameter measurements were taken with a tape measure, below bifurcations of low branching trees whenever possible but otherwise at Breast Height (~1.4 m up from the base of the tree). For multiple stemmed trees, an equivalent DBH was calculated by adding the DBH of the largest stem to 60% of the next two largest stem DBHs. The trees were then assessed individually from the ground using a basic visual assessment technique. First from some distance away, the height and size of the trees were estimated and the crown shape, branch structure, tree lean and surrounding influences were considered. Canopy heights were estimated and horizontal distances (i.e., drip line/radius⁸) were measured with a Bosch BLAZE™ GLM 20 Laser Distance Measure. The trunk and stems were briefly inspected and trunk leans/sweeps were measured with an Android level measuring application on a Samsung Galaxy S20 FE 5G smart phone. Root flares and surface roots near the base that were visible above ground were also inspected briefly. No effort was made to investigate the underground root system. Nor was any effort made to ascend the trees. Assessment data, expected impact, and recommendations were recorded in the attached Tree Impact Assessment Spreadsheet.

8 Drip line/radius is an indication of the extent of the canopy of the tree; it is the distance from the trunk to the outer most reach/tip of the branches.

Observations and Comments:

The planned development is to encompass 4 lots; the 3 at 4460, 4450 Woodcrest Road & 4504 Woodgreen Drive, as well as, the neighbouring vacant lot REM 7 at 4430 Woodcrest Road. The lots are located just north of the exit off ramp/road #4 of Hyw #1. See the attached Site Map. In general, the lots have a slight southern aspect with the north and east ends transitioning steeply up to Woodcrest Road. This transition can be rocky/bouldered especially at the east end of the vacant lot REM 7 at 4430 Woodcrest Road. Many of the assessed trees (ranging from #96 – #176 and #1 – #7) are located on municipal land at this steep transition and near the top just south of the gravel shoulder of Woodcrest Road. On the northwest side of 4504 Woodgreen Drive the transition is bit smoother, and again, a section of trees (#8 – #29) line the municipal land/boulevard just west of the property line. Also, a number of trees (#30 – #47) line the southwest property line with 4504 Woodgreen Drive and west corner of 4460 Woodcrest Road. Most of the above mention trees are conifers which have been topped multiple times in the past and are in poor to fair condition. As a result, the majority contain co-dominant stem defects. They are mostly undersized trees (< 75 cm DBH), except for 6 large diameter trees (#4, #30, #32, #34, #142 & 176). With the exclusion of the 6 large diameter trees (#4, #30, #32, #34, #142 & #176), they measure 15 – 65 cm DBH × 12 – 20 m height. Originally, the initial arborist report (dated August 18, 2022) recommended removal of all the boulevard trees along Woodgreen Drive and Woodcrest Road for sidewalk/crosswalk enhancements along the north and east and west perimeters. This revision includes the retention of 66 of those trees after municipal review. They include 20 Trees (#8 – #20) along the Woodgreen Drive perimeter and 46 Trees (#1 – #4, #176 – #173, #171, #170, #166, #163, #161, #160, #156 – #152, #148 – #146, #140, #139, #134, #130, #129, #126, #124, #118, #114, #109 – #102 and #99 – #96) along the Woodcrest Road perimeter.

In between the neighbouring lots at 4504 Woodgreen Drive and 4460 Woodcrest Road stands a tight hedge row of conifers (trees #48 – #75) on the 4504 Woodgreen Drive side, They were measured to be 20 – 60 cm DBH × 16 m height. They have been topped in the distant past when they were younger, resulting in multiple co-dominant stems that diverge as low as 2 – 3 m height up the trunk from the base. These trees will have to be removed to for the structural elements of the development (i.e., buildings with associated patios and the parkade). And a few trees (#88 – #95) will need to be removed at the southeast corner of the vacant lot REM 7 at 4430 Woodcrest Road for the proposed development of a community node. As well, a couple of small dead snags (trees #179 & #180) located at the south corner of 4460 Woodgreen Drive can be removed for the development of a nature trail linking the east and west community nodes at the south end of the site.

Most of the assessed trees on site are conifers (mostly Douglas-firs – *Pseudotsuga menziesii* and Western redcedars – *Thuja plicata*, with only 2 Western hemlocks – *Tsuga heterophylla*). A grouping of Lawson cypresses (trees #178 – #202) – *Chamaecyparis lawsoniana* stand just to the south of the 4460 Woodcrest Road lot and form a privacy and noise reducing hedge from Hwy #1. There is also one shore pine (*Pinus contorta* subsp. *contorta*) and one Sawara false-cypress (*Chamaecyparis pisifera*). The shore pine (tree #5) is species protected at > 20 cm DBH, measuring 24 cm DBH × 10 m height, and is located on the Woodcrest Road boulevard in front of 4504 Woodgreen Drive. Deciduous species are few and include mostly arbutus (*Arbutus menziesii*). The 3 small Arbutus (trees #6, #7, & #131) that are recommended for removal are not species protected because they measure < 20 cm DBH. Aside from arbutus species, there is one black cottonwood (*Populus trichocarpa*), one tree of heaven (*Ailanthus altissima*), one red oak (*Quercus rubra*), one laburnum (*Laburnum × watereri*) and one Pacific dogwood (*Cornus nuttallii*). The Pacific dogwood (tree #87) is also species protected at > 20 cm DBH,

measuring 37 cm DBH × 11 m height, and is located on the southeast property line of the 4450 Woodcrest Road lot

There are **5** permit sized (≥ 75 cm DBH) trees located within the property lines. **Four** Western redcedars (tree #83 – #86) measuring 100 cm – 111 cm DBH × 22 – 24 m height are located in the backyard of 4450 Woodcrest Road, and **one** Douglas-fir (tree #142) measuring 75 cm DBH × 20 m height is located in the front yard of 4450 Woodcrest Road near the entrance driveway. There are **5** large diameter (≥ 75 cm DBH) trees located just beyond the property lines. **Two** Douglas-fir (tree #30 & #34), measuring 80 cm – 86 cm DBH × 16 m height are located just beyond the southwest property line of 4504 Woodgreen Drive, and **one** Western redcedar (tree #32), measuring 78 cm DBH × 16 m height is located just beyond the southwest property line of 4504 Woodgreen Drive. On the municipal boulevards, there are **2** large diameter (≥ 75 cm DBH) Douglas-fir (trees #4 & #176), measuring 75 – 78 cm DBH × 20 – 22 m height, respectively. Douglas-fir (tree #4) is located in front of 4504 Woodgreen Drive and Douglas-fir (tree #176) is located in front 4460 Woodcrest Road near the front driveway.

A number of off-site trees (#177 – #219) are located just north of the sound barrier fence/wall for Hwy #1. The barrier/fence/wall is located ~ 6 m north of the exit off ramp/road #4 to protect against highway traffic noise. A section of trees (#178 – #202) located to the south of the 4460 Woodcrest Road lot form a privacy and noise reducing hedge that has been maintained at ~ 10 m height. The trees in this section measure 15 cm – 40 cm DBH × 10 m height. Further to the west the trees (#203 – #219) are more spaced out but taller (up to 16 m height). They are rooted in a rock/bouldered berm just north of the Hwy #1 fence/wall. Most of these trees (#178 – #219, including the western hemlock tree #177) can be retained, with the exception of the **2** small dead snags (trees #179 & #180), and protected with a TPB. A single continuous TPB can be erected down the length the hedge row, placed 2.5 m away from the trunk to protect the largest of CRZs. The rest of the trees west of #214 are sufficiently distant from planned construction activities and require no TPB. The details pertaining to the assessment, expected impacts and recommendations per individual tree can be found in the attached Tree Assessment Spreadsheet. As well, the location and details for tree protection measures are highlighted in the attached Tree Management Plan.

Conclusions and Recommendations:

Originally, the initial arborist report (dated August 18, 2022) recommended removal of all the boulevard trees along Woodgreen Drive and Woodcrest Road for sidewalk/crosswalk enhancements along the north and east and west perimeters. This revision includes the retention of **66** of those trees after municipal review.

- **Arborist Supervision** is recommended for the additional **66** trees during the construction of adjacent sidewalks/walkways, as well as, any excavation or grading required near the trees for landscaping at the perimeter of development. It is possible that some of these retainable trees will have to be removed if the impact to Critical Root Zones (CRZs⁹) is unexpectedly high and possibly destabilizing. The following trees are retainable with arborist supervision.
 - **20** Trees (#8 – #20) along the Woodgreen Drive perimeter
 - **46** Trees (#1 – #4, #176 – #173, #171, #170, #166, #163, #161, #160, #156 – #152, #148 – #146, #140, #139, #134, #130, #129, #126, #124, #118, #114, #109 – #102 and #99 – #96) along the Woodcrest Road perimeter.
- **Of the 112 trees are recommended for removal**
 - **7** are dead snags.
 - **5** Trees are permit sized (≥ 75 cm DBH) and are located within the property lines
 - **3** Trees are permit sized (≥ 75 cm DBH) and located just beyond the property lines or on the municipal boulevard.
 - **2** Trees are species protected at > 20 cm DBH;
 - 1 Pacific dogwood (tree #87) – *Cornus nuttallii*, measuring 37 cm DBH \times 11 m height, is located on the southeast property line of 4450 Woodcrest Rd.
 - 1 Shore pine (tree #5) – *Pinus contorta* subsp. *contorta*, measuring 24 cm DBH \times 10 m height, is located on the Woodcrest Road boulevard in front of 4504 Woodgreen Drive.
- **Replacement tree** totals will be decided upon by municipal authorities utilizing compensatory provisions for the removal of trees in accordance with the District of West Vancouver's Tree Bylaw 4892, 2016.
 - A Landscape Plan showing the placement and species of replacement trees can then be prepared. Replacement tree planting/placement, size, and species/type will comply with municipal regulations and with the most recent circulation of the American National Standards Institute (ANSI) A300 Standards for the management of trees, shrubs and other woody plants.
- **Tree Protection Barriers/Fences (TPB)** are recommended to protect the remaining trees (#177 – #214) located along the Trans-Canada Hwy #1 sound barrier fence/wall.
 - A single continuous TPB can be erected down the length the hedge row, placed 2.5 m away from the trunk to protect the largest of Critical Root Zones (CRZs).
 - The rest of the trees west of #214 (trees #215 – #219) are sufficiently distant from planned construction activities and require no TPB.

9 CRZ = Critical Root Zone is the crucial area around the tree where roots function to provide structural support and maintain tree health. Often formulated as a radius from the trunk = $6 \times$ DBH.

- **Periodic on-site arborist visits** are recommended; to monitor the health of retained trees during construction, to ensure that TPBs are maintained in good condition, and that the CRZ area within the TPBs are respected and free of construction debris, materials and/or equipment

Limitations:

The assessments and accuracy of this report are only valid at the time of inspection. Every reasonable effort has been made to ensure accuracy consistent with the scope of the work by using established arboricultural techniques. However, trees are living organisms, the health of which can change in response to many factors, both biogenic and anthropogenic. Adverse/severe weather events can visibly damage and destabilize even the most healthy of trees. Therefore, neither the arboricultural service company named in this report nor the author of this report accept any responsibility, explicit or implied for liability, loss, or damages arising from recommendations made in this report or from the failure of trees or any of its parts assessed in this report. Periodic re-assessment of trees should be performed in an effort to monitor their health and safety.

Richard Lange – Tree MD®



ISA[‡] Board Certified Master Arborist PN-6529BUT
 ISA Tree Risk Assessment Qualification
 ISA-PN[#] Certified Tree Risk Assessor #406
 Certified Utility Arborist 00175-TT-09

Attached to this report are

1. Photos – **28** photos of the site and the trees.
2. Tree Impact Assessment Spreadsheet – containing the tree assessment data and recommendations
3. Site Map – 2020 Aerial image with lot boundaries, extracted from the District of West Vancouver's WestMap web-based GIS application and online property viewer.
4. Site Plan
5. Tree Management Plan – **4** Site Surveys marked up with existing tree locations and recommendations.

[‡] International Society of Arboriculture

[#] International Society of Arboriculture – Pacific Northwest Chapter

Photos



Photo 1: Trees (#3 - #8) at the north end of 4504 Woodgreen Drive. Facing SW.



Photo 2: Conifer (trees #8 - #29) along the west side/boulevard of 4504 Woodgreen Drive. Facing E.



Photo 3: Conifer (trees #27 - #29) along the west side/boulevard of 4504 Woodgreen Drive. Facing NE.



Photo 4: Conifers (trees #30 - #35) at the SW end of 4504 Woodgreen Drive. Facing N.



Photo 5: Conifers (#41 - #47) at the S end of 4504 Woodgreen Drive and E corner of 4460 Woodcrest Road. Facing E.



Photo 6: Hedge of Lawson cypress (trees #202 - #178) at the SW end of 4460 Woodcrest Road. Facing SE.



Photo 7: Lawson cypress (tress #202 - #178) and the Hwy #1 sound barrier fence wall at the SW end of 4460 Woodcrest Road. Facing S.



Photo 8: Hedge trees (#48 - #75) located between adjacent lots at 4504 Woodgreen Drive and 4460 Woodcrest Road. Facing NW.



Photo 9: Trunks of the large Douglas-fir (trees #2 & #3) at the NE end of 4504 Woodgreen Drive. Facing SW.



Photo 10: Trees (#209 - #219) at the south end of Woodgreen Drive near the Hwy #1 barrier fence/wall. Facing SW.



Photo 11: Conifer (trees #204- #206) near the Hwy #1 barrier fence/wall. Facing S.



Photo 12: Arbutus (tree #207) near the Hwy #1 barrier fence/wall. Facing S.



Photo 13: Conifers (trees #1 - #5) at the NE end of 4504 Woodgreen Drive. Facing S



Photo 14: Conifers (trees #1 - #5) at the NE end of 4504 Woodgreen Drive and behind them (trees #176 - #170) at the NE side of 4460 Woodcrest Road. Facing SE.



Photo 15: Conifers (trees #165 - #176) at the NE side of 4460 Woodcrest Road. Facing S.



Photo 16: Conifers (trees #175 - #167) at the NE side of 4460 Woodcrest Road. Facing E.



Photo 17: Conifers (trees #146 - #156) at the north end of 4450 Woodcrest Road Entrance Driveway. Facing E.



Photo 18: Conifers (trees #128 - #137) at the south end of 4450 Woodcrest Road Entrance Driveway. Facing E.



Photo 19: Trees (#139 - #141) at the south end of 4450 Woodcrest Road Entrance Driveway with the leaning arbutus (tree #131) on the slope behind. Facing S.



Photo 20: Trees (#150 - #125) near the top of the slope at the east side of 4450 Woodcrest Road with the leaning arbutus (tree #131) in the foreground. Facing N.



Photo 21: Conifer (trees #97 - #113) at the east side of 4450 and 4430 Woodcrest Road. Facing S.



Photo 22: Conifer (trees #130 - #101) at the east side of 4450 and 4430 Woodcrest Road. Facing N.



Photo 23: Conifers (trees #93 - #99) at the east side of 4430 Woodcrest Road. Facing NW.

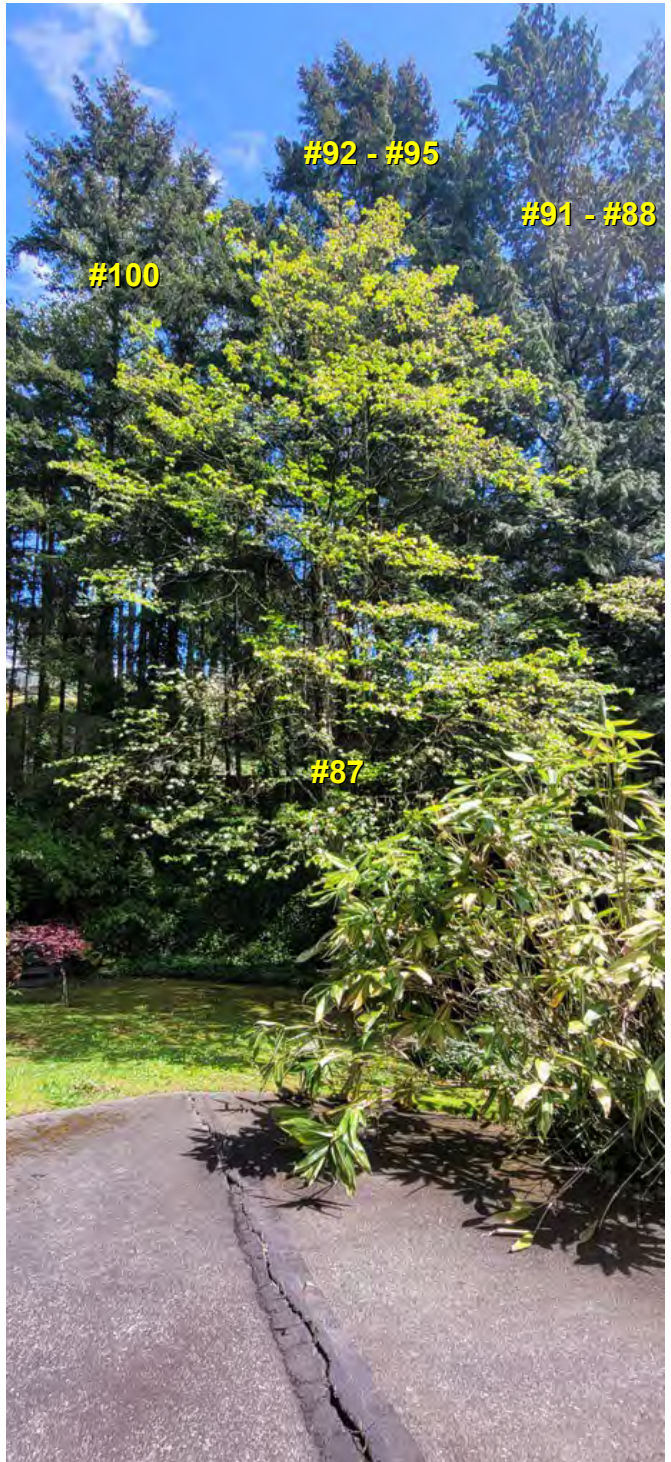


Photo 24: Trees (#88 - #100) in the background with the dogwood (tree #87) in the foreground. Viewed facing SE from the backyard of 4450 Woodcrest Road.



Photo 25: Large redcedar (trees #86 - #84) in the backyard of 4450 Woodcrest Road. Facing NW.



Photo 26: Trees (#81 - #79) in the backyard of 4450 Woodcrest Road. Facing S.



Photo 27: Large redcedar (trees #83 - #85). Viewed from the backyard of 4460 Woodcrest Road facing SE.



Photo 28: Red oak (tree #78) in the backyard of 4460 Woodcrest Road. Facing SE.

Tree Impact Assessments Data¹ at 4460, 4450 Woodcrest Road & 4504 Woodgreen Drive, West Vancouver BC

Tree #	Location of Tree	Common Name (Genus and Species)	Recommd ²	DBH ³ (cm)	Height (m)	CRZ ⁴ (m)	Drip Line ⁵ (m)	Lean	Live Crown Ratio	Tree Health	Location of Defect	Type of Defect, Concern or Risk	Target (Occupancy Rate)	Likelihood of Failure	Likelihood of Impact	Likelihood of Failure & Imp.	Consequence of Failure	Overall Risk Rating
1	Boulevard NE of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	41	20	2.5	5.0	-	>50%	Fair to Poor	Trunk Canopy	Topped at 5 m height with 2 co-dominant stems (1 main and 1 minor) originating from old topping wound Canopy is tied into the nearby (~ 30 cm) Douglas-fir (tree #2)	House (constant) Road (occasional)	Possible Possible	Medium Medium	Unlikely Unlikely	Signf. Signf.	Low Low
2	Boulevard NE of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	53	20	3.2	7.0	5° NW	>50%	Fair to Poor	Trunk Canopy	Topped at 5 m height with 2 co-dominant stems originating from a U-shaped union at the old topping wound Canopy is tied into the nearby (~ 30 cm) Douglas-fir (tree #1)	House (constant) Road (occasional)	Possible Possible	Medium Medium	Unlikely Unlikely	Signf. Signf.	Low Low
3	Boulevard NE of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	57	20	3.4	7.0	-	>50%	Fair to Poor	Trunk Canopy	Topped at 6 m height with a single main stem dominating from the old topping wound. Canopy is tied into the nearby (< 30 cm) Douglas-fir (tree #5)	House (constant) Road (occasional)	Possible Possible	Medium Medium	Unlikely Unlikely	Signf. Signf.	Low Low
4	Boulevard NE of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	75	20	4.5	7.0	5° SW	>50%	Fair to Poor	Trunk Canopy	Topped at 5 m & 6 m heights with a large main stem originating from the old topping wound and a second large up-swept lateral originating from below the old topping cut at 4 m height. Canopy is tied into the nearby (< 30 cm) Douglas-fir (tree #4)	House (constant) Road (occasional)	Possible Possible	High Medium	Somewhat Likely Unlikely	Signf. Signf.	Moderate Low
5	Boulevard NE of 4504 Woodgreen Dr	Shore pine (<i>Pinus contorta</i> subsp. <i>contorta</i>)	Rm	24	10	1.4	3.0	5° NE	>50%	Poor	Trunk Canopy	Twisted/contorted lower trunk; Lower canopy is dying back with some dead branches.	Road (occasional)	Possible	Medium	Unlikely	Signf.	Low

- 1 Some short hand; P/L = property line,, Improb = improbable, Poss = possible, Prob = probable, Imm = imminent, Med = medium, Mod = moderate, Negl = negligible, Signf. = significant, Extr = extreme, S/W = somewhat
- 2 Some short hand recommendation; Rm = remove, Rt = retain, TPB = Erect Tree Protection Barrier/Fence, AS = Arborist Supervision when working within the CRZ.
- 3 DBH = Diameter at Breast Height. It is a standard measurement taken at a height of 1.4 m above the highest immediately adjacent natural ground level to indicate the size of the tree. Diameter measurements were taken below bifurcations on low branching trees; for multiple stemmed trees, an equivalent DBH was calculated by adding the DBH of the largest stem to 60% of the next two largest stem DBHs.
- 4 CRZ = Critical Root Zone is the crucial area around the tree where roots function to provide structural support and maintain tree health. Often formulated as a radius = 6 × DBH from the surface of the trunk.
- 5 Drip line/radius is an indication of the extent of the canopy of the tree; it is the distance from the trunk to the outer most reach/tip of the branches.

Tree #	Location of Tree	Common Name (Genus and Species)	Recommd	DBH (cm)	Height (m)	CRZ (m)	Drip Line (m)	Lean	Live Crown Ratio	Tree Health	Location of Defect	Type of Defect, Concern or Risk	Target (Occupancy Rate)	Likelihood of Failure	Likelihood of Impact	Likelihood of Failure & Imp.	Consequence of Failure	Overall Risk Rating
6	Boulevard NE of 4504 Woodgreen Dr	Arbutus (<i>Arbutus menziesii</i>)	Rm	14	6	0.9	4.0	-	>50%	Fair	Trunk	2 Stems originating from the base of the tree, measuring 10 cm & 7 cm DBH . The smaller (7 cm) stem bends to the SE	-	-	-	-	-	-
7	Boulevard NE of 4504 Woodgreen Dr	Arbutus (<i>Arbutus menziesii</i>)	Rm	11	7	0.7	4.0	25° SE	>50%	Fair	Trunk	2 Stems originating from the base of the tree, measuring 7 cm & 7 cm DBH	-	-	-	-	-	-
8	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	72	16	4.3	6.5	-	>50%	Fair to Poor	Trunk	2 Stems originating from the base of the tree, measuring 55 & 29 cm DBH. Topped at 2 m and 4 m heights, from which diverge 4 stems.	House + Driveway (constant)	Possible	Medium	Unlikely	Signf.	Low
											Canopy	Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
9	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	23	16	1.4	5.5	-	>50%	Fair to Poor	Trunk	Topped at 3 m & 4 m heights with a single stem originating from the old topping wounds.	House + Driveway (constant)	Possible	Medium	Unlikely	Signf.	Low
											Canopy	Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
10	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	29	16	1.7	6.0	-	>50%	Fair to Poor	Trunk	Topped at 2 m & 4 m heights with 2 co-dominant stems originating from the old topping wounds.	House + Driveway (constant)	Possible	Medium	Unlikely	Signf.	Low
											Canopy	Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
11	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	24	16	1.4	5.5	3° N	>50%	Fair to Poor	Trunk	Topped at 3 m height with 2 co-dominant stems originating from the old topping wound.	Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
											Canopy	Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal						
12	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	25	16	1.5	5.5	7° S	>50%	Fair to Poor	Trunk	Topped at 3 m & 4 m heights with 2 co-dominant stems originating from the old topping wounds.	House + Driveway (constant)	Possible	Medium	Unlikely	Signf.	Low
											Canopy	Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal						

Tree #	Location of Tree	Common Name (Genus and Species)	Recommd	DBH (cm)	Height (m)	CRZ (m)	Drip Line (m)	Lean	Live Crown Ratio	Tree Health	Location of Defect	Type of Defect, Concern or Risk	Target (Occupancy Rate)	Likelihood of Failure	Likelihood of Impact	Likelihood of Failure & Imp.	Consequence of Failure	Overall Risk Rating
13	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	21	16	1.3	5.5	-	>50%	Fair to Poor	Trunk Canopy	Topped at 2 m & 4 m heights with a single dominant stem originating from the old topping wound. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
14	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	43	17	2.6	5.5	-	>50%	Fair to Poor	Trunk Canopy	Topped at 3 m & 4 m heights with 2 co-dominant stems originating from the old topping wounds. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	House + Driveway (constant) Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
15	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	38	17	2.3	6.0	7° SW	>50%	Fair to Poor	Trunk Canopy	Topped at 3 m & 4 m heights with 2 co-dominant stems originating from the old topping wounds. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	House + Driveway (constant) Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
16	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	65	18	3.9	6.0	-	>50%	Fair to Poor	Trunk Canopy	Topped at 3 m & 4 m heights with 3 co-dominant stems originating from the old topping wounds. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	House + Driveway (constant) Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
17	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	54	18	3.2	6.5	-	>50%	Fair to Poor	Trunk Canopy	2 Stems originating from the base of the tree, measuring 35 & 31 cm DBH. Topped at 3 m and 4 m heights, from which diverge 4 stems. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	House + Driveway (constant) Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
18	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	60	19	3.6	6.5	-	>50%	Fair to Poor	Trunk Canopy	2 Stems originating from the base of the tree, measuring 44 & 27 cm DBH. Topped at 3 m and 4 m heights, from which diverge 3 stems. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	House + Driveway (constant) Road (occasional)	Possible	Medium	Unlikely	Signf.	Low

Tree #	Location of Tree	Common Name (Genus and Species)	Recommd	DBH (cm)	Height (m)	CRZ (m)	Drip Line (m)	Lean	Live Crown Ratio	Tree Health	Location of Defect	Type of Defect, Concern or Risk	Target (Occupancy Rate)	Likelihood of Failure	Likelihood of Impact	Likelihood of Failure & Imp.	Consequence of Failure	Overall Risk Rating
19	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	27	16	1.6	5.5	7° N	>50%	Fair to Poor	Trunk Canopy	Topped at 4 m heights with a single stem originating from the old topping wound. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
20	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	19	16	1.1	5.5	7° E	>50%	Fair to Poor	Trunk Canopy	Topped at 4 m heights with 2 co-dominant stems originating from the old topping wound. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	House + Driveway (constant)	Possible	Medium	Unlikely	Signf.	Low
21	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	53	19	3.2	6.0	10° S	>50%	Fair to Poor	Trunk Canopy	Topped at 4 m & 8 m heights with 3 co-dominant stems originating from the old 4 m topping wound, and a pair of co-dominant stems diverging from a V-shaped union at the 8 m topping wound. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	House + Driveway (constant)	Possible	Medium	Unlikely	Signf.	Low
22	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	48	19	2.9	5.5	7° N	>50%	Fair to Poor	Trunk Canopy	Topped at 4 m heights with 2 co-dominant stems originating from the old topping wound. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
23	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	48	19	2.9	6.0	-	>50%	Fair to Poor	Trunk Canopy	Topped at 4 m & 8 m heights with 3 acutely angled co-dominant stems originating from the old 4 m old topping wound, and a pair of co-dominant stems diverging from a V-shaped union at the 8 m topping wound. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	House + Driveway (constant)	Possible	Medium	Unlikely	Signf.	Low

Tree #	Location of Tree	Common Name (Genus and Species)	Recommd	DBH (cm)	Height (m)	CRZ (m)	Drip Line (m)	Lean	Live Crown Ratio	Tree Health	Location of Defect	Type of Defect, Concern or Risk	Target (Occupancy Rate)	Likelihood of Failure	Likelihood of Impact	Likelihood of Failure & Imp.	Consequence of Failure	Overall Risk Rating
24	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	47	20	2.8	6.0	-	>50%	Fair to Poor	Trunk	2 Stems originating from the base (1 m from the ground) with included bark fusing between them up to height of 2.5 m, and measuring 33 & 23 cm DBH. Topped at 4 m height, from which diverge 4 stems. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	Shed + Driveway (constant)	Possible	Medium	Unlikely	Signf.	Low
											Canopy		Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
25	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	30	19	1.8	5.5	3° SE	>50%	Fair to Poor	Trunk	Topped at 4 m heights with a single stem originating from the old topping wound. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	House + Shed + Driveway (constant)	Possible	Medium	Unlikely	Signf.	Low
26	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	46	20	2.8	6.0	5° SE	>50%	Fair to Poor	Trunk	Topped at 4 m heights with a single stem originating from the old topping wound. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	House + Shed + Driveway (constant)	Possible	Medium	Unlikely	Signf.	Low
27	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	55	20	3.3	6.0	10° NW	>50%	Fair to Poor	Trunk	Topped at 5 m heights with a pair of acutely attached co-dominant stems diverging from the old topping wound. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
28	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	56	20	3.4	6.0	10° S	>50%	Fair to Poor	Trunk	2 Co-dominant stems with a U-shaped union at 3 m height. Topped at 5 m heights with a pair of acutely attached co-dominant stems diverging from the old topping wound. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	Tennis court (occasional)	Possible	Medium	Unlikely	Signf.	Low
29	Boulevard NW of 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	45	20	2.7	6.0	8° S	>50%	Fair to Poor	Trunk	Topped at 5 m heights with a single stem originating from the old topping wound. Canopy is tied onto adjacent trees; Canopy foliage is sparse ~ 50% normal	Tennis court (occasional)	Possible	Medium	Unlikely	Signf.	Low

Tree #	Location of Tree	Common Name (Genus and Species)	Recommd	DBH (cm)	Height (m)	CRZ (m)	Drip Line (m)	Lean	Live Crown Ratio	Tree Health	Location of Defect	Type of Defect, Concern or Risk	Target (Occupancy Rate)	Likelihood of Failure	Likelihood of Impact	Likelihood of Failure & Imp.	Consequence of Failure	Overall Risk Rating
30	SW P/L 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	80	16	4.8	7.0	-	>50%	Fair	Trunk	2 Co-dominant stems with a U-shaped union at 5 m height. Ivy is growing up the trunk	Tennis court (occasional)	Possible	Medium	Unlikely	Signf.	Low
31	SW P/L 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	50	16	3.0	6.5	-	>50%	Fair	Trunk	2 Co-dominant stems diverging acutely from an old topping cut at 3 m height, with included bark extending to 5 m height.	Tennis court (occasional)	Possible	Medium	Unlikely	Signf.	Low
32	SW P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	78	16	4.7	6.0	-	>50%	Fair	Trunk	Multiple (7) Co-dominant stems diverging acutely ~ 1 m up from the base of the tree. Topped at 2 m & 3 m heights with 8 – 10 stems diverging into the canopy of the tree.	Tennis court (occasional)	Possible	Medium	Unlikely	Signf.	Low
33	SW P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	23	10	1.4	3.0	-	>50%	Fair	Trunk	Topped at 3 m height with 2 stems diverging into the canopy of the tree.	Tennis court (occasional)	Possible	Medium	Unlikely	Signf.	Low
34	SW P/L 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	86	16	5.2	8.0	10° SW	>50%	Fair	Trunk	1 Large lateral arm at 1 m height sweeps out to the SW, and it measured 60 cm DBH. Topped at 2 m & 3 m heights, from which 2 main stems and 2 minor stem diverge.	Tennis court (occasional)	Possible	Medium	Unlikely	Signf.	Low
35	SW P/L 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	53	16	3.2	7.0	-	>50%	Fair	Trunk	Topped at 2 m & 3 m heights, from which a single main stem and 1 minor stem diverge.	Tennis court (occasional)	Possible	Medium	Unlikely	Signf.	Low
36	SW P/L 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	44	17	2.6	6.0	-	>50%	Fair	Trunk	Topped at 3 m & 5 m heights, from which a single main stem and 1 minor stem diverge.	Tennis court (occasional)	Possible	Medium	Unlikely	Signf.	Low
37	SW P/L 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	32	17	1.9	5.0	-	>50%	Fair	Trunk	Topped at 5 m height, from which a single main stem diverges.	Tennis court (occasional)	Possible	Medium	Unlikely	Signf.	Low

Tree #	Location of Tree	Common Name (Genus and Species)	Recommd	DBH (cm)	Height (m)	CRZ (m)	Drip Line (m)	Lean	Live Crown Ratio	Tree Health	Location of Defect	Type of Defect, Concern or Risk	Target (Occupancy Rate)	Likelihood of Failure	Likelihood of Impact	Likelihood of Failure & Imp.	Consequence of Failure	Overall Risk Rating
38	SW P/L 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	18	18	1.1	5.0	5° NW	>50%	Fair	Trunk	Topped at 3 m height, from which a few slender stems diverge.	Tennis court (occasional)	Possible	Medium	Unlikely	Minor	Low
39	SW P/L 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	41	18	2.5	6.0	3° SW	>50%	Fair	Trunk	Topped at 3 m height, from which a single main stem and 3 minor stems diverge.	Highway (frequent)	Possible	High	Somewhat Likely	Signf.	Moderate
40	SW P/L 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	35	20	2.1	6.0	5° SE	>50%	Fair	Trunk	Topped at 2 m & 4 m heights, from which a single main stem originates to form the upper canopy.	Highway (frequent)	Possible	Medium	Unlikely	Signif icant	Low
41	SW P/L 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	46	20	2.8	7.0	10° SW	>50%	Fair	Trunk	Topped at 4 m height, from which a single main stem and 3 minor stems diverge.	Highway (frequent)	Possible	High	Somewhat Likely	Signf.	Moderate
42	SW P/L 4504 Woodgreen Dr	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	50	20	3.0	6.0	12° SW	>50%	Fair	Trunk	Topped at 4 m & 5 m heights, from which a cluster of 4 acutely attached stems diverge.	Highway (frequent)	Possible	High	Somewhat Likely	Signf.	Moderate
43	SW P/L 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	47	20	2.8	5.0	-	>50%	Fair	Trunk	Topped at 5 m height, from which a 1 main stem and 1 minor stem diverge. Girdling wire around the trunk at 1.5 m height.	Highway (frequent) Tennis Court (occasional)	Possible	Medium	Unlikely	Signif icant	Low
44	SW P/L 4460 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	30	8	1.8	5.0	-	>50%	Fair	Trunk Canopy	1 Minor stem diverges from the main trunk near the base of the tree. Recently topped for containment at 8 m height.	-	-	-	-	-	-
45	SW P/L 4460 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	20	8	1.2	5.0	-	>50%	Fair	Canopy	Recently topped for containment at 8 m height.	-	-	-	-	-	-
46	SW P/L 4460 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	35	8	2.1	5.0	-	>50%	Fair	Trunk Canopy	Topped at 4 m height, from which 3 acutely attached stems with include bark between them diverge. Recently topped for containment at 8 m height.	-	-	-	-	-	-

Tree #	Location of Tree	Common Name (Genus and Species)	Recommd	DBH (cm)	Height (m)	CRZ (m)	Drip Line (m)	Lean	Live Crown Ratio	Tree Health	Location of Defect	Type of Defect, Concern or Risk	Target (Occupancy Rate)	Likelihood of Failure	Likelihood of Impact	Likelihood of Failure & Imp.	Consequence of Failure	Overall Risk Rating
47	SW P/L 4460 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	40	8	2.4	5.0	5° SE	>50%	Fair	Trunk Canopy	Topped at 4 m height, from which 3 acutely attached stems with include bark between them diverge. Recently topped for containment at 8 m height.	-	-	-	-	-	-
48	SE P/L 4504 Woodgreen Dr	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rm	24	16	1.4	5.0	6° SW	>50%	Fair	Canopy	Hedge tree topped in the distant past with 3 major stems diverge from the trunk at 6 m height.	Tennis court (occasional)	Possible	Medium	Unlikely	Minor	Low
49	SE P/L 4504 Woodgreen Dr	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rm	48	16	2.9	7.0	6° SW	>50%	Fair	Canopy	Hedge tree topped in the distant past with 2 major stems diverge from the trunk at 5 m height.	Tennis court (occasional)	Possible	Medium	Unlikely	Minor	Low
50	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	20	16	1.2	4.0	-	>50%	Fair	Canopy	Hedge tree topped in the distant past with multiple stems diverge from the trunk at 3 m height.	Tennis court (occasional)	Possible	Medium	Unlikely	Minor	Low
51	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	58	16	3.5	4.0	-	>50%	Fair	Canopy	Hedge tree with 3 stems originating from its base and measuring (30 + 28 + 18) cm DBH. Topped in the distant past with multiple stems diverge from the trunk at 3 m height.	Tennis court (occasional)	Possible	Medium	Unlikely	Minor	Low
52	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	45	16	2.7	4.0	-	>50%	Fair	Canopy	Hedge tree topped in the distant past with multiple stems diverge from the trunk at 3 m height.	Tennis court (occasional)	Possible	Medium	Unlikely	Minor	Low
53	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	20	16	1.2	4.0	-	>50%	Fair	Canopy	Hedge tree topped in the distant past with multiple stems diverge from the trunk at 3 m height.	Tennis court (occasional)	Possible	Medium	Unlikely	Minor	Low
54	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	30	16	1.8	4.0	-	>50%	Fair	Canopy	Hedge tree topped in the distant past with multiple stems diverge from the trunk at 3 m height.	Tennis court (occasional)	Possible	Medium	Unlikely	Minor	Low

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55	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	27	16	1.6	4.0	-	>50%	Fair	Canopy	Hedge tree with 2 stems originating from its base and measuring (18 + 15) cm DBH. Topped in the distant past with multiple stems diverge from the trunk at 3 m height.	Tennis court (occasional)	Possible	Medium	Unlikely	Minor	Low
56	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	29	16	1.7	4.0	-	>50%	Fair	Canopy	Hedge tree topped in the distant past with multiple stems diverge from the trunk at 3 m height.	Tennis court (occasional)	Possible	Medium	Unlikely	Minor	Low
57	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	31	16	1.9	4.0	-	>50%	Fair	Canopy	Hedge tree topped in the distant past with multiple stems diverge from the trunk at 2 – 3 m height.	Tennis court (occasional)	Possible	Medium	Unlikely	Minor	Low
58	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	37	16	2.2	4.0	-	>50%	Fair	Canopy	Hedge tree with 2 stems originating from its base and measuring (26 + 18) cm DBH. Topped in the distant past with multiple stems diverge from the trunk at 2 – 3 m height.	Tennis court (occasional)	Possible	Medium	Unlikely	Minor	Low
59	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	29	16	1.7	4.0	-	>50%	Fair	Canopy	Hedge tree with 2 stems originating from its base and measuring (20 + 15) cm DBH. Topped in the distant past with multiple stems diverge from the trunk at 2 – 3 m height.	Tennis court (occasional)	Possible	Medium	Unlikely	Minor	Low
60	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	45	16	2.7	4.0	-	>50%	Fair	Canopy	Hedge tree with 2 stems originating from its base and measuring (33 + 20) cm DBH. Topped in the distant past with multiple stems diverge from the trunk at 2 – 3 m height.	Tennis court (occasional)	Possible	Medium	Unlikely	Minor	Low

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61	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	25	16	1.5	4.0	-	>50%	Fair	Canopy	Hedge tree with 2 stems originating from its base and measuring (17 + 13) cm DBH. Topped in the distant past with multiple stems diverge from the trunk at 2 – 3 m height.	Courtyard + backyard (occasional)	Possible	Medium	Unlikely	Minor	Low
62	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	40	16	2.4	4.0	-	>50%	Fair	Canopy	Hedge tree with 2 stems originating from its base and measuring (27 + 21) cm DBH. Topped in the distant past with multiple stems diverge from the trunk at 2 – 3 m height.	Courtyard + backyard (occasional)	Possible	Medium	Unlikely	Minor	Low
63	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	34	16	2.0	4.0	-	>50%	Fair	Canopy	Hedge tree with 2 stems originating from its base and measuring (27 + 11) cm DBH. Topped in the distant past with multiple stems diverge from the trunk at 2 – 3 m height.	Courtyard + backyard (occasional)	Possible	Medium	Unlikely	Minor	Low
64	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	41	16	2.5	4.0	-	>50%	Fair	Canopy	Hedge tree with 3 stems originating from its base and measuring (29 + 10 + 10) cm DBH. Topped in the distant past with multiple stems diverge from the trunk at 2 – 3 m height.	Courtyard + backyard (occasional)	Possible	Medium	Unlikely	Minor	Low
65	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	30	16	1.8	4.0	-	>50%	Fair	Canopy	Hedge tree topped in the distant past with multiple stems diverge from the trunk at 2 m height. Old stem tear-out wound (1 m length) at the base of the trunk (S side)	Courtyard + backyard (occasional)	Possible	Medium	Unlikely	Minor	Low
66	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	43	16	2.6	4.0	-	>50%	Fair	Canopy	Hedge tree with 3 stems originating from its base and measuring (22 + 20 + 15) cm DBH. Topped in the distant past with multiple stems diverge from the trunk at 2 – 3 m height.	Courtyard + backyard (occasional)	Possible	Medium	Unlikely	Minor	Low

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67	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	27	16	1.6	4.0	-	>50%	Fair	Canopy	Hedge tree topped in the distant past with multiple stems diverge from the trunk at 2 m height.	Courtyard + backyard (occasional)	Possible	Medium	Unlikely	Minor	Low
68	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	25	16	1.5	4.0	-	>50%	Fair	Canopy	Hedge tree topped in the distant past with multiple stems diverge from the trunk at 2 – 3 m height.	House (constant)	Possible	Medium	Unlikely	Minor	Low
69	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	22	16	1.3	4.0	-	>50%	Fair	Canopy	Hedge tree topped in the distant past with multiple stems diverge from the trunk at 2 – 3 m height.	House (constant)	Possible	Medium	Unlikely	Minor	Low
70	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	25	16	1.5	4.0	-	>50%	Fair	Canopy	Hedge tree topped in the distant past with multiple stems diverge from the trunk at 2 – 3 m height.	House (constant)	Possible	Medium	Unlikely	Minor	Low
71	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	35	16	2.1	4.0	-	>50%	Fair	Canopy	Hedge tree topped in the distant past with multiple stems diverge from the trunk at 3 m height.	House (constant)	Possible	Medium	Unlikely	Minor	Low
72	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	25	16	1.5	4.0	-	>50%	Fair	Canopy	Hedge tree topped in the distant past with multiple stems diverge from the trunk at 2 m height.	House (constant)	Possible	Medium	Unlikely	Minor	Low
73	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	32	16	1.9	4.0	-	>50%	Fair	Canopy	Hedge tree with 4 stems originating from its base and measuring (15 + 15 + 13 + 12) cm DBH. Topped in the distant past with multiple stems diverge from the trunk at 2 – 3 m height.	Courtyard + backyard (occasional)	Possible	Medium	Unlikely	Minor	Low
74	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	24	16	1.4	4.0	-	>50%	Fair	Canopy	Hedge tree with 2 stems originating from its base and measuring (15 + 15) cm DBH. Topped in the distant past with multiple stems diverge from the trunk at 2 m height.	Courtyard + backyard (occasional)	Possible	Medium	Unlikely	Minor	Low

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75	SE P/L 4504 Woodgreen Dr	Western redcedar (<i>Thuja plicata</i>)	Rm	60	16	3.6	4.0	-	>50%	Fair	Canopy	Hedge tree topped in the distant past with 2 large stems diverge from the trunk at 2 m height and multiple stems diverging at 3 m.	House (constant)	Possible	Medium	Unlikely	Major	Low
76	SW P/L 4460 Woodcrest Rd	Sawara Cypress (<i>Chamaecyparis pisifera</i>)	Rm	47	8	2.8	3.0	-	>50%	Fair	Canopy	2 Major stems diverge at an acute angle to each other at 1 m height. Recently topped for containment at 8 m height.	-	-	-	-	-	-
77	SW P/L 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rm	45	10	2.7	5.0	6° N	>50%	Fair	Canopy	2 Major stems diverge at an acute angle to each other at 4 m height. Recently topped for containment at 8 m height.	-	-	-	-	-	-
78	Backyard 4460 Woodcrest Rd	Red Oak (<i>Quercus rubra</i>)	Rm	38	13	2.3	8.0	-	>50%	Fair	Canopy	Some improperly pruned stubs in the lower canopy near the trunk.	-	-	-	-	-	-
79	Backyard 4450 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	60	20	3.6	6.0	8° W	>50%	Fair	Canopy	Minor lean – corrects to the normal somewhat at 8 m height Asymmetric canopy – SW side heavy.	Highway (frequent)	Possible	High	Somewhat Likely	Signf.	Moderate
80	Backyard 4450 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	24	10	1.4	4.0	-	>50%	Fair	Canopy	Asymmetric canopy – SW side heavy. Ivy has grown 6 m up the trunk.	-	-	-	-	-	-
81	Backyard 4450 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	51	10	3.1	4.0	-	>50%	Dead	Canopy Trunk	Dead snag; Trunk is girdled by a rope/twine at 2 m height.	Backyard (occasional)	Probable	Low	Unlikely	Minor	Low
82	Backyard 4450 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	35	10	2.1	4.0	-	>50%	Fair to Poor	Canopy	Foliage in the canopy is sparse – 50% of normal.	-	-	-	-	-	-
83	Backyard 4450 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	100	23	6.0	7.0	5° NW	>50%	Fair	Trunk	Minor lean – corrects to normal at 8 m height.	-	-	-	-	-	-

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84	Backyard 4450 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	105	24	6.3	7.0	5° SW	>50%	Fair	Trunk	Minor lean – corrects to normal at 8 m height.	-	-	-	-	-	-
85	Backyard 4450 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	93	22	5.6	7.0	5° SW	>50%	Fair	Trunk	Minor lean – corrects to normal at 8 m height.	-	-	-	-	-	-
86	Backyard 4450 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	111	22	6.7	7.0	10° SW	>50%	Fair	Trunk	Minor lean – corrects to normal at 8 m height.	-	-	-	-	-	-
87	SE P/L 4450 Woodcrest Rd	Pacific dogwood (<i>Cornus nuttallii</i>)	Rm	37	11	2.2	4.0	-	>50%	Fair	Trunk	3 Major stems diverge from the base of the tree at acute angles to each other. One of the stems, measuring 12 cm DBH, is dead. The other 2 stems measure 20 cm & 16 cm DBH.	Backyard (occasional)	Probable	Low	Unlikely	Minor	Low
88	Vacant Lot 4430 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	61	20	3.7	6.0	7° NW	>50%	Fair	Trunk Canopy	Minor lean – corrects to normal at 8 m height. Lower canopy is asymmetric – NW side heavy.	-	-	-	-	-	-
89	Vacant Lot 4430 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	58	20	3.5	5.0	4° SW	>50%	Fair	Trunk	Minor lean – corrects to normal at 8 m height.	-	-	-	-	-	-
90	Vacant Lot 4430 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	29	18	1.7	3.0	-	>50%	Fair	-	-	-	-	-	-	-	-
91	Vacant Lot 4430 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	50	13	3.0	4.0	-	>50%	Fair to Poor	Trunk	Topped at 12 m height for containment. Minor (14 cm DBH) stem diverges from the SE side of the trunk..	-	-	-	-	-	-
92	Vacant Lot 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	44	18	2.6	5.0	12° W	>50%	Fair	Trunk	Topped at 12 m height, from which 2 co-dominant stems diverge – U-shaped union.	-	-	-	-	-	-

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93	Vacant Lot 4430 Woodcrest Rd	Western Hemlock (<i>Tsuga heterophylla</i>)	Rm	46	10	2.8	3.0	-	>50%	Very Poor	Trunk	Tree is in decline. Extensive internal decay visible from a large wound on the S side of the trunk at the root flare/base. The trunk had snapped at 8 m height.	-	-	-	-	-	-
94	Vacant Lot 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	33	12	2.0	5.5	10° S	>50%	Fair to Poor	Trunk Canopy	Topped at 8 m height, from which a single stem doglegs to the normal. Asymmetric canopy – S side heavy.	-	-	-	-	-	-
95	Vacant Lot 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	39	12	2.3	4.0	-	>50%	Fair to Poor	Trunk	Topped at 10 m height, from which only small minor co-dominant stems are developing.	-	-	-	-	-	-
96	Boulevard 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	47	12	2.8	7.0	10° SW	>50%	Fair to Poor	Trunk Canopy	Topped at 8 m height with 2 up-swept laterals competing for dominance. Asymmetric canopy – S side heavy because of adjacent trees nearby to the north.	-	-	-	-	-	-
97	Boulevard 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	30	12	1.8	6.0	7° SE	>50%	Fair	Trunk Canopy	Topped at 8 m height, from which 2 co-dominant stems diverge. Topped recently at 10 m height.	-	-	-	-	-	-
98	Boulevard 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	38	17	2.3	3.0	13° W	>50%	Fair to Poor	Trunk Canopy	Topped at 10 m height with 3 up-swept laterals tied up into the canopy of the adjacent Douglas-fir (tree #76).	-	-	-	-	-	-
99	Boulevard 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	26	17	1.6	3.0	16° W	>50%	Fair to Poor	Trunk Canopy	Topped at 10 m height, from which a single stem doglegs into the canopy of the adjacent Douglas-fir (tree #75).	-	-	-	-	-	-
100	Vacant Lot 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	60	22	3.6	6.0	18° NW	>50%	Fair	Trunk Canopy	Moderate lean targeting the house on the neighbouring property at 4450 Woodcrest Rd. The lean corrects to the normal at 14 m height, where a single stem doglegs from a topping cut.	House (constant)	Possible	High	Somewhat Likely	Signf.	Moderate
101	Boulevard 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	16	7	1.0	3.0	10° NE	0%	Dead	Trunk Canopy	Dead snag leaning against the neighbouring cedar (tree #102).	Road (occasional)	Imminent	Medium	Likely	Minor	Moderate

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102	Boulevard 4430 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rt AS	16	10	1.0	3.0	4° E	>50%	Fair	Trunk	Minor lean	Road (occasional)	Improbabl e	Low	Unlikely	Minor	Low
103	Boulevard 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	25	14	1.5	2.5	8° W	>50%	Fair	Trunk Canopy	Topped at 10 m height, from which a single doglegged stem originates. Adjacent to a minor dead snag (measuring 15 cm diam and 5 m height) that had snapped from its base is in an advance state of decay	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
104	Boulevard 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	25	14	1.5	4.0	4° E	>50%	Fair	Trunk Canopy	Topped at 10 m height, from which a single doglegged stem originates. Minor lean + Asymmetric canopy – E side heavy over the road.	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
105	Boulevard 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	23	8	1.4	6.5	7° E	>50%	Fair	Trunk Canopy	Topped at 6 m height, Minor lean + Asymmetric canopy – E side heavy over the road.	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
106	Boulevard 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	26	16	1.6	3.0	7° NE	>50%	Fair	Trunk Canopy	Topped at 10 m height, from which a single doglegged stem originates. Minor lean + Asymmetric canopy – E side heavy over the road.	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
107	Boulevard 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	19	14	1.1	2.0	-	>50%	Fair	Trunk Canopy	Topped at 10 m height, from which a single doglegged stem originates.	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
108	Boulevard 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	17	16	1.0	4.0	7° E	>50%	Fair	Trunk Canopy	Topped at 10 m height, from which a single doglegged stem originates.	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
109	Boulevard 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	17	15	1.0	2.0	-	>50%	Fair	Trunk Canopy	Topped at 10 m height, from which a single doglegged stem originates.	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
110	Vacant Lot 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	35	18	2.1	5.0	-	>50%	Fair	Trunk Canopy	Topped at 10 m height, from which 1 major stem and 1 minor stem diverge. Asymmetric canopy – W side heavy. Ivy has grown 8 m up the trunk.	House (constant)	Possible	Medium	Unlikely	Signf.	Low

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111	Boulevard 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	22	16	1.3	4.0	-	>50%	Fair to Poor	Trunk Canopy	Topped at 10 m height, from which a single stem doglegs.. Broken minor stem (~ 5 cm diam) diverging from the base of the tree	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
112	Boulevard 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	22	16	1.3	3.0	-	>50%	Fair to Poor	Trunk Canopy	Topped at 8 m height, from which a single stem doglegs..	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
113	Boulevard 4430 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	28	10	1.7	4.0	-	>50%	Fair to Poor	Trunk Canopy	2 Co-dominant stems, measuring 21 cm & 11 cm DBH, diverge from the base of the tree at an acute angle to each other. Tree was topped at 2.5 m height, from which only 1 stem dominates. Recently topped at 8 m height.	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
114	Boulevard 4430 Woodcrest Rd	Cottonwood (<i>Populus trichocarpa</i>)	Rt AS	32	20	1.9	5.0	15° NW	>50%	Fair	Trunk Canopy	Moderate lean – corrects to the normal somewhat as the canopy seeks light among nearby adjacent trees.	House (constant)	Possible	Medium	Unlikely	Signf.	Low
115	West P/L 4450 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	15	10	0.9	-	25° S	-	Dead	Trunk Canopy	Sub-dominant tree among larger nearby adjacent trees that could not compete and has died. Strangled with ivy to 8 m height and leaning into the adjacent Douglas-fir (tree #78).	-	-	-	-	-	-
116	West P/L 4450 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	35	20	2.1	5.0	8° W	>50%	Fair	Trunk Canopy	Topped at 12 m height, from which a single stem doglegs. Asymmetric canopy – W side heavy Ivy has grown 8 m up the trunk.	House (constant)	Possible	High	Somewhat Likely	Signf.	Moderate
117	West P/L 4450 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	25	12	1.5	3.0	8° NE	>50%	Fair to Poor	Trunk Canopy	Broken top at 12 m height. Asymmetric canopy – W side heavy	-	-	-	-	-	-
118	Boulevard 4450 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	24	18	1.4	3.0	-	~20%	Fair to Poor	Canopy	Sparse foliage except for the top – lower canopy shaded out by surrounding trees.	-	-	-	-	-	-

Tree #	Location of Tree	Common Name (Genus and Species)	Recommd	DBH (cm)	Height (m)	CRZ (m)	Drip Line (m)	Lean	Live Crown Ratio	Tree Health	Location of Defect	Type of Defect, Concern or Risk	Target (Occupancy Rate)	Likelihood of Failure	Likelihood of Impact	Likelihood of Failure & Imp.	Consequence of Failure	Overall Risk Rating
119	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	36	16	2.2	4.5	-	>50%	Fair to Poor	Canopy	2 Co-dominant stems, measuring 24 cm & 20 cm DBH, diverge from the base of the tree at ground level.	-	-	-	-	-	-
120	West P/L 4450 Woodcrest Rd	Tree of Heaven (<i>Ailanthus altissima</i>)	Rm	48	14	2.9	6.0	90° W	>50%	Fair	Trunk Canopy	Severe lean growing out from a sloped bank targets the house. The lower trunk is contorted/twisted but the middle to upper trunk corrects to the normal somewhat, to ~ 15° W Asymmetric canopy – W side heavy	House (constant)	Possible	High	Somewhat Likely	Signf.	Moderate
121	West P/L 4450 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	27	14	1.6	3.0	-	>50%	Fair	Trunk Canopy	Topped at 10 m height, from which a single stem doglegs. Ivy has grown 6 m up the trunk.	-	-	-	-	-	-
122	West P/L 4450 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	28	18	1.7	3.0	-	>50%	Fair	-	-	-	-	-	-	-	-
123	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	25	16	1.5	4.0	-	>50%	Fair to Poor	Trunk Canopy	Topped at 8 m height, from which a single stem doglegs.	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
124	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	43	18	2.6	5.0	-	>50%	Fair to Poor	Trunk Canopy	2 Co-dominant stems, measuring 27 cm & 26 cm DBH, diverge from the base of the tree at ground level. Topped at 8 m height, from which a single dogleg has formed on each stem.	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
125	West P/L 4450 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	30	12	1.8	4.0	-	>50%	Fair	Trunk Canopy	Top is dying back. Ivy has grown 4 m up the trunk.	-	-	-	-	-	-
126	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	47	20	2.8	5.0	5° SW	>50%	Fair to Poor	Trunk Canopy	Topped at 9 m height, from which 2 co-dominant stems diverge in a U-shaped union.	Road (occasional) House (constant)	Possible Possible	Low Medium	Unlikely Unlikely	Signf. Signf.	Low Low
127	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	27	18	1.6	4.0	10° E	>50%	Fair to Poor	Trunk Canopy	Topped at 8 m height, from which a single stem doglegs.	Road (occasional)	Possible	Low	Unlikely	Signf.	Low

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128	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	26	18	1.6	8.0	8° E	>50%	Fair to Poor	Trunk Canopy	Topped at 8 m height, from which a single stem originates. Asymmetric canopy – E side heavy	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
129	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	45	20	2.7	6.0	5° SE	>50%	Fair to Poor	Trunk Canopy	Topped at 8 m height, from which a single stem doglegs. Asymmetric canopy – E side heavy	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
130	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	60	20	3.6	7.0	10° SW	>50%	Fair to Poor	Trunk Canopy	Topped at 8 m height, from which a single stem has developed a significant dogleg to the NW targeting the house. Asymmetric canopy – E side heavy	House (constant)	Possible	High	Somewhat Likely	Signf.	Moderate
131	Boulevard 445 0 Woodcrest Rd	Arbutus (<i>Arbutus menziesii</i>)	Rm	10	2	0.6	10	90° W	>50%	Fair to Poor	Trunk Canopy	Severe lean - trunk has bent over and the canopy has developed close to the ground for a length of 10 m.	-	-	-	-	-	-
132	Boulevard 445 0 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	28	12	1.7	3.0	-	>50%	Fair	Trunk	3 Minor stems diverge from the trunk at 1 m height.	-	-	-	-	-	-
133	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	26	8	1.6	-	-	-	Dead	Trunk Canopy	Dead snag	Road (occasional)	Imminent	Low	Somewhat Likely	Signf.	Moderate
134	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	23	18	1.4	3.0	5° SE	~30%	Fair to Poor	Trunk Canopy	Topped at 8 m height, from which a single stem doglegs. Sparse foliage except for the top – lower canopy shaded out by surrounding trees.	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
135	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	33	20	2.0	5.0	-	~50%	Fair to Poor	Trunk Canopy	Topped at 8 m height, from which a single stem doglegs.	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
136	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	37	14	2.2	7	12° SE	>50%	Fair to Poor	Trunk Canopy	2 Co-dominant stems, measuring 26 cm & 18 cm DBH, diverge from each other at 1.5 m height. Included bark is present at the acutely angle union. Topped at 4m & 6 m height, from which 3 significant doglegs have formed	Road (occasional)	Probable	Medium	Somewhat Likely	Signf.	Moderate

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137	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	30	8	1.8	-	12° NW	-	Dead	Trunk Canopy	Dead snag at an advance stage of decay - with conks and woodpecker holes in the top section.	Driveway (occasional)	Imminent	Medium	Likely	Signf.	High
138	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	27	18	1.6	5.5	7° NE	>50%	Fair to Poor	Canopy	Minor lean + Asymmetric canopy – NE side heavy targeting the road and driveway.	Road + Driveway (occasional)	Possible	Medium	Unlikely	Signf.	Low
139	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	34	18	2.0	4.0	5° NW	>50%	Poor	Trunk Canopy	Trunk girdled at 1 m height with wire to hold mail box. Topped at 9 m height, from which a single stem doglegs.	Driveway (occasional)	Possible	Medium	Unlikely	Signf.	Low
140	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	35	18	2.1	3.0	-	>50%	Fair to Poor	Trunk Canopy	Topped at 9 m height, from which 3 co-dominant stems diverge.	Driveway (occasional)	Possible	Medium	Unlikely	Signf.	Low
141	On-Site 4450 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	23	16	1.4	3.0	-	>50%	Fair	-	-	-	-	-	-	-	-
142	On-Site 4450 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	75	20	4.5	9.0	5° W	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – W side heavy targeting the house Topped at 12 m height, from which 2 main co-dominant stems diverge.	House (constant)	Possible	High	Somewhat Likely	Signf.	Moderate
143	On-Site 4450 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	33	14	2.0	3.0	-	>50%	Fair	Trunk	2 Co-dominant stems, measuring 22 cm & 18 cm DBH, diverge from the base of the tree.	Driveway (occasional)	Possible	Medium	Unlikely	Signf.	Low
144	On-Site 4450 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	26	20	1.6	2.0	5° N	~30%	Poor	Canopy	Canopy has been suppressed by the shade of close-by adjacent trees.	House (constant)	Possible	Low	Unlikely	Signf.	Low
145	On-Site 4450 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	28	20	1.7	3.0	-	>50%	Poor	Trunk Canopy	Topped at 10 m height, from which a single stem doglegs.	Driveway (occasional)	Possible	Low	Unlikely	Signf.	Low
146	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	20	18	1.2	2.0	-	~30%	Poor	Canopy	Canopy has been suppressed by the shade of close-by adjacent trees.	House (constant)	Possible	Low	Unlikely	Signf.	Low

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147	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	40	20	2.4	6.0	-	>50%	Fair to Poor	Trunk Canopy	Topped at 9 m height, from which a significant dogleg stem has developed.	Road + Driveway (occasional)	Possible	Low	Unlikely	Signf.	Low
148	Boulevard 445 0 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	30	9	1.8	6.0	5° E	>50%	Poor	Trunk Canopy	Minor lean + Asymmetric canopy – E side heavy targeting the road. Recently topped at 9 m height,	Road + Driveway (occasional)	Possible	Low	Unlikely	Signf.	Low
149	On-Site 4450/4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	38	21	2.3	3.0	-	<50%	Poor	Canopy	Canopy has been suppressed by the shade of close-by adjacent trees. Ivy has grown extensively up the trunk to near the top and choked out significant portion of the canopy.	House (constant)	Possible	Medium	Unlikely	Signf.	Low
150	On-Site 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	38	20	2.3	4.0	10° NW	~50%	Poor	Trunk Canopy	Minor lean + Asymmetric canopy – NW side heavy targeting the house. Ivy has grown extensively up the trunk to near the top and choked out significant portion of the canopy	House (constant)	Possible	High	Somewhat Likely	Signf.	Moderate
151	On-Site 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	39	20	2.3	4.0	5° NW	<50%	Poor	Trunk Canopy	Minor lean + Asymmetric canopy – NW side heavy targeting the house. Canopy is suppressed by the shade of close-by adjacent trees	House (constant)	Possible	High	Somewhat Likely	Signf.	Moderate
152	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	35	20	2.1	4.0	5° NE	>50%	Fair to Poor	Trunk Canopy	Minor lean + Asymmetric canopy – NE side heavy targeting the road. Canopy is suppressed by the shade of close-by adjacent trees	Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
153	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	19	16	1.1	2.0	4° NE	>50%	Fair to Poor	Trunk Canopy	Minor lean Canopy is suppressed by the shade of close-by adjacent trees	House (constant)	Possible	Medium	Unlikely	Minor	Low
154	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	17	15	1.0	3.0	2° NE	>50%	Fair to Poor	Trunk Canopy	Minor lean + Asymmetric canopy – NE side heavy targeting the road.	Road (occasional)	Possible	Medium	Unlikely	Minor	Low
155	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	21	16	1.3	2.5	6° SW	>50%	Fair to Poor	Trunk Canopy	Minor lean + Asymmetric canopy – SW side heavy targeting the house.	House (constant)	Possible	Medium	Unlikely	Minor	Low

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156	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	22	13	1.3	6.5	-	>50%	Fair to Poor	Canopy	Asymmetric canopy – NE side heavy targeting the road.	Road (occasional)	Possible	Medium	Unlikely	Minor	Low
157	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	19	10	1.1	6.5	-	>50%	Fair to Poor	Canopy	Asymmetric canopy – NE side heavy targeting the road.	Road (occasional)	Possible	Medium	Unlikely	Minor	Low
158	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	24	10	1.4	6.5	4° SE	>50%	Fair to Poor	Trunk Canopy	Minor lean + Asymmetric canopy – NE side heavy targeting the road.	Road (occasional)	Possible	Medium	Unlikely	Minor	Low
159	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	53	18	3.2	6.0	-	>50%	Fair	Canopy	Asymmetric canopy – NE side heavy targeting the road.	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
160	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	45	17	2.7	3.0	-	<50%	Fair to Poor	Canopy	Canopy has been suppressed by the shade of close-by adjacent trees.	Road (occasional)	Possible	Low	Unlikely	Signf.	Low
161	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	42	16	2.5	5.0	-	<50%	Fair	Canopy	Asymmetric canopy – W side heavy targeting the house.	House (constant)	Possible	Medium	Unlikely	Signf.	Low
162	On-Site 4460 Woodcrest Rd	Western redcedar (<i>Thuja plicata</i>)	Rm	34	14	2.0	4.0	-	<50%	Fair to Poor	Canopy	Ivy has grown extensively up the trunk to near the top and choked out significant portion of the canopy	Shed (occasional)	Possible	Low	Unlikely	Signf.	Low
163	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	24	14	1.4	3.0	5° NE	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – NE side heavy targeting the road.	Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
164	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	20	10	1.2	3.0	5° NE	>50%	Fair	-	-	-	-	-	-	-	-
165	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	31	14	1.9	5.0	5° NE	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – NE side heavy targeting the road.	Road (occasional)	Possible	Medium	Unlikely	Signf.	Low

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166	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	63	20	3.8	7.0	14° SW	>50%	Fair	Trunk Canopy	Moderate lean + Asymmetric canopy – SW side heavy targeting the house.	House (constant)	Possible	High	Somewhat Likely	Signf.	Moderate
167	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	41	20	2.5	6.0	4° NE	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – NE side heavy targeting the road.	Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
168	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	36	20	2.2	3.0	-	>50%	Fair	Canopy	Canopy has been suppressed by the shade of close-by adjacent trees.	-	-	-	-	-	-
169	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	24	19	1.4	4.0	4° NE	<50%	Fair to Poor	Trunk	Minor lean with a canopy that has been suppressed by the shade of close-by adjacent trees.	-	-	-	-	-	-
170	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	33	20	2.0	4.0	5° NW	<50%	Fair	Trunk Canopy	Minor lean.	-	-	-	-	-	-
171	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	53	20	3.2	6.0	10° SW	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – SW side heavy targeting the house.	House (constant)	Possible	High	Somewhat Likely	Signf.	Moderate
172	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rm	27	20	1.6	3.0	5° NE	<50%	Fair to Poor	Trunk Canopy	Minor lean – corrects to the normal at 4 m height.	-	-	-	-	-	-
173	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	47	20	2.8	6.0	5° NE	>50%	Fair to Poor	Trunk Canopy	Minor lean + Asymmetric canopy – NE side heavy targeting the road.	Road (occasional)	Possible	Medium	Unlikely	Signf.	Low
174	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	33	20	2.0	3.0	3° SE	>50%	Fair to Poor	Canopy	Minor lean with a canopy that has been suppressed by the shade of close-by adjacent trees.	-	-	-	-	-	-
175	Boulevard 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	57	20	3.4	7.0	10° N	>50%	Fair to Poor	Trunk Canopy	Topped at 4 m height, from which diverges 1 main stem and 1 minor stem Asymmetric canopy – N side heavy targeting the road.	Road (occasional)	Possible	Medium	Unlikely	Signf.	Low

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176	On-Site 4460 Woodcrest Rd	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt AS	78	22	4.7	7.0	12° SW	>50%	Fair to Poor	Trunk Canopy	2 Co-dominant stems, measuring 51 cm & 45 cm DBH, diverge from the base of the tree with ~1 m length of included bark between them.	House (constant)	Possible	High	Somewhat Likely	Signf.	Moderate
177	SW Hwy Fence/Wall 4450 Woodcrest Rd	Western Hemlock (<i>Tsuga heterophylla</i>)	Rt TPB	45	10	2.7	5.0	-	>50%	Fair	-	-	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
178	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	34	10	2.0	5.0	-	>50%	Fair	Trunk Canopy	3 Minor stems diverge from the trunk at 3 m height. Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
179	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rm	14	3	0.8	0.0	12° S	0%	Dead	Whole Tree	Dead snag	-	-	-	-	-	-
180	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rm	17	5	1.0	0.0	9° N	0%	Dead	Whole Tree	Dead snag	-	-	-	-	-	-
181	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	39	10	2.3	5.0	8° S	>50%	Fair	Trunk Canopy	3 Minor stems diverge from the trunk at 3 m height. Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low

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182	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	30	10	1.8	5.0	5° S	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
183	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	32	10	1.9	5.0	10° S	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
184	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	29	10	1.7	5.0	5° SW	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
185	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	26	10	1.6	5.0	5° SW	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
186	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	34	10	2.0	6.0	8° S	>50%	Fair	Trunk Canopy	Minor lean , trunk curves to ~ 15° S in the upper canopy. Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
187	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	23	10	1.4	4.0	-	>50%	Fair	Canopy	Recently topped for containment at 8 m height. Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low

Tree #	Location of Tree	Common Name (Genus and Species)	Recommd	DBH (cm)	Height (m)	CRZ (m)	Drip Line (m)	Lean	Live Crown Ratio	Tree Health	Location of Defect	Type of Defect, Concern or Risk	Target (Occupancy Rate)	Likelihood of Failure	Likelihood of Impact	Likelihood of Failure & Imp.	Consequence of Failure	Overall Risk Rating
188	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	39	10	2.3	6.0	-	>50%	Fair	Trunk Canopy	Trunk diverges into 2 co-dominant stems 3 m up from the base.. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
189	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	27	10	1.6	5.0	7° SW	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
190	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	33	10	2.0	5.0	-	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
191	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	33	10	2.0	5.0	9° S	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
192	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	33	10	2.0	5.0	5° W	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – W and S sides heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
193	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	15	10	0.9	4.0	5° SW	>50%	Fair to Poor	Trunk Canopy	Subdominant tree shaded by neighbouring hedge trees. Minor lean + Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Minor	Low
194	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	19	10	1.1	4.0	5° SW	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low

Tree #	Location of Tree	Common Name (Genus and Species)	Recommd	DBH (cm)	Height (m)	CRZ (m)	Drip Line (m)	Lean	Live Crown Ratio	Tree Health	Location of Defect	Type of Defect, Concern or Risk	Target (Occupancy Rate)	Likelihood of Failure	Likelihood of Impact	Likelihood of Failure & Imp.	Consequence of Failure	Overall Risk Rating
195	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	28	10	1.7	5.0	7° S	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
196	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	18	10	1.1	4.0	-	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
197	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	33	10	2.0	4.0	3° S	>50%	Fair	Trunk Canopy	Minor lean with co-dominant stems diverging from an acute angle of attachment ~ 1 m up the trunk from the base Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
198	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	16	10	1.0	4.0	-	>50%	Fair	Trunk Canopy	Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
199	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	18	10	1.1	4.0	-	>50%	Fair	Trunk Canopy	Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
200	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	28	10	1.7	5.0	7° S	>50%	Fair	Trunk Canopy	Minor lean + Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low

Tree #	Location of Tree	Common Name (Genus and Species)	Recommd	DBH (cm)	Height (m)	CRZ (m)	Drip Line (m)	Lean	Live Crown Ratio	Tree Health	Location of Defect	Type of Defect, Concern or Risk	Target (Occupancy Rate)	Likelihood of Failure	Likelihood of Impact	Likelihood of Failure & Imp.	Consequence of Failure	Overall Risk Rating
201	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	21	10	1.3	5.0	15° S	>50%	Fair	Trunk Canopy	Moderate lean + Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 6 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
202	SW Hwy Fence/Wall 4460 Woodcrest Rd	Lawson Cypress (<i>Chamaecyparis lawsoniana</i>)	Rt TPB	46	10	2.8	6.0	12° S	>50%	Fair	Trunk Canopy	Moderate lean + Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Recently topped for containment at 8 m height.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
203	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Laburnum (<i>Laburnum × watereri</i>)	Rt TPB	19	6	1.1	3.5	30° SW	>50%	Fair	Trunk Canopy Roots	Major lean near the base of the trunk, which corrects somewhat into a broad shallow canopy. Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Growing on top of a rock/boulder berm near/north off the Hwy #1 sound barrier fence/wall.	-	-	-	-	-	-
204	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt TPB	17	10	1.0	2.5	5° S	>50%	Fair	Trunk Roots	Minor lean, topped at 1.7 m height from which a single doglegged stem diverges. Growing on top of a rock/boulder berm near/north of the Hwy #1 sound barrier fence/wall.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
205	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt TPB	41	16	2.5	5.5	8° NE	>50%	Fair	Trunk Roots	Minor lean, topped at 1.7 m height from which a single doglegged stem diverges. Growing on top of a rock/boulder berm near/north of the Hwy #1 sound barrier fence/wall.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
206	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt TPB	40	15	2.4	5.0	4° SW	>50%	Fair	Trunk Roots	Minor lean Growing on top of a rock/boulder berm near/north of the Hwy #1 sound barrier fence/wall.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low

Tree #	Location of Tree	Common Name (Genus and Species)	Recommd	DBH (cm)	Height (m)	CRZ (m)	Drip Line (m)	Lean	Live Crown Ratio	Tree Health	Location of Defect	Type of Defect, Concern or Risk	Target (Occupancy Rate)	Likelihood of Failure	Likelihood of Impact	Likelihood of Failure & Imp.	Consequence of Failure	Overall Risk Rating
207	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Arbutus (<i>Arbutus menziesii</i>)	Rt TPB	15	7	0.9	4.0	13° S	>50%	Fair	Trunk Roots	Moderate lean near the base of the trunk, which corrects somewhat into a broad shallow canopy. Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Growing on top of a rock/boulder berm near/north off the Hwy #1 sound barrier fence/wall.	-	-	-	-	-	-
208	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt TPB	31	12	1.9	4.5	11° SW	>50%	Fair	Trunk Roots	Minor lean over the Hwy #1 sound barrier fence/wall. Growing on top of a rock/boulder berm near/north of the Hwy #1 sound barrier fence/wall.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
209	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Arbutus (<i>Arbutus menziesii</i>)	Rt TPB	23	7	1.4	4.0	6° E	>50%	Fair	Trunk Roots	Minor lean near the base of the trunk, which corrects somewhat into a broad shallow canopy. Growing on top of a rock/boulder berm near/north off the Hwy #1 sound barrier fence/wall.	-	-	-	-	-	
210	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt TPB	38	14	2.3	5.0	4° S	>50%	Fair	Trunk Roots	Minor lean over the Hwy #1 sound barrier fence/wall. Growing on top of a rock/boulder berm near/north of the Hwy #1 sound barrier fence/wall.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
211	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt TPB	28	14	1.7	5.0	3° S	>50%	Fair	Trunk Roots	Minor lean + asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Growing on top of a rock/boulder berm near/north of the Hwy #1 sound barrier fence/wall.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
212	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Arbutus (<i>Arbutus menziesii</i>)	Rt TPB	26	14	1.6	4.0	8° E	>50%	Fair	Trunk Roots	Minor lean, Growing on top of a rock/boulder berm near/north off the Hwy #1 sound barrier fence/wall.	-	-	-	-	-	

Tree #	Location of Tree	Common Name (Genus and Species)	Recommd	DBH (cm)	Height (m)	CRZ (m)	Drip Line (m)	Lean	Live Crown Ratio	Tree Health	Location of Defect	Type of Defect, Concern or Risk	Target (Occupancy Rate)	Likelihood of Failure	Likelihood of Impact	Likelihood of Failure & Imp.	Consequence of Failure	Overall Risk Rating
213	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt TPB	27	14	1.6	4.0	6° NW	>50%	Fair	Trunk Roots	Minor lean toward Woodgreen Dr. Growing on top of a rock/boulder berm near/north of the Hwy #1 sound barrier fence/wall.	Road (occasional)	Possible	Medium	Unlikely	Signf	Low
214	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt TPB	36	13	2.2	5.0	-	>50%	Fair	Roots	Growing on top of a rock/boulder berm near/north off the Hwy #1 sound barrier fence/wall.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
215	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt	41	15	2.5	4.0	4° S	>50%	Fair	Trunk Roots	Minor lean over the Hwy #1 sound barrier fence/wall. Growing on top of a rock/boulder berm near/north of the Hwy #1 sound barrier fence/wall.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
216	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt	46	16	2.8	5.0	-	>50%	Fair	Roots	Growing on top of a rock/boulder berm near/north off the Hwy #1 sound barrier fence/wall.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low
217	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt	19	10	1.1	4.0	5° W	>50%	Fair	Trunk Roots	Minor lean toward adjacent power/utility lines. Growing on top of a rock/boulder berm near/north off the Hwy #1 sound barrier fence/wall.	Power/Utility Lines (constant)	Possible	Medium	Unlikely	Minor	Low

Tree #	Location of Tree	Common Name (Genus and Species)	Recommd	DBH (cm)	Height (m)	CRZ (m)	Drip Line (m)	Lean	Live Crown Ratio	Tree Health	Location of Defect	Type of Defect, Concern or Risk	Target (Occupancy Rate)	Likelihood of Failure	Likelihood of Impact	Likelihood of Failure & Imp.	Consequence of Failure	Overall Risk Rating
218	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Arbutus (<i>Arbutus menziesii</i>)	Rt	39	7	2.3	7.0	30° SW + 40° NW	>50%	Fair	Trunk Roots	Major lean of the two co-dominant/scaffold stems, which diverge from the base of the tree. The major stem/scaffold (30 cm DBH) leans 40° NW over the entrance of the pedestrian underpass, and the minor stem. The minor stem/scaffold (15 cm DBH) leans 30° SW over the he Hwy #1 sound barrier fence/wall. Asymmetric canopy – S side heavy over the Hwy #1 sound barrier fence/wall. Growing on top of a rock/boulder berm near/north off the Hwy #1 sound barrier fence/wall.	Pedestrian Underpass (occasional)	Possible	Medium	Unlikely	Signf	Low
219	SW Hwy Fence/Wall 4504 Woodgreen Dr.	Douglas-fir (<i>Pseudotsuga menziesii</i>)	Rt	33	13	2.0	3.0	10° SW	>50%	Fair	Trunk Roots	Minor lean toward the Hwy #1 Exit Road 4. Growing on top of a rock/boulder berm near/north of the Hwy #1 Exit Road 4.	Hwy #1 Exit Road 4 (frequent)	Possible	Medium	Unlikely	Signf	Low

west vancouver Site Map - 4504 Woodgreen Drive, 4460, 4450 Woodcrest Road



Legend

Yellow - Remove

Green - Retain

Notes

2020 Aerial Image extracted from the District of West Vancouver's **WestMap** web-base GIS mapping application and online property viewer



WGS_1984_UTM_Zone_10N
District of West Vancouver

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THIS MAP IS NOT TO BE USED FOR NAVIGATION



4	Issued for DP Resubmission	2024/04/11
3	Issued for Open House Presentation	2024/03/11
2	Re-issued for DP	2023/09/13
1	Issued for DP	2022/12/09
	Revision No.	Date

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Client:



Project Title: **Woodgreen**

Drawing Title: **Landscape Overall Plan**

Project North:	Drawn By:	SJ
	Checked By:	MP
Scale:	Job No.:	22-030
Sheet No.:		

L0.0

Plot Date: 2024/04/11

TOPOGRAPHIC SURVEY OF:
 1. AMENDED LOTS 4 AND 5 (EX. PLAN 9827), DLs 886 AND 887,
 2. LOT 6 EXCEPT PART ON SRW PLAN 92, DL 887;
 ALL ON G1, NMD, PLAN 10004.
 DISTRICT OF WEST VANCOUVER
 CIVIC ADDRESS: 4450, 4460 WOODCREST RD &
 4505 WOODGREEN DR
 PID: 009-545-247 (Amd 4)
 009-545-271 (Amd 5)
 009-544-615 (Rem 6)

LEGEND

- DENOTES SPOT ELEVATION
- DENOTES POWER POLE
- DENOTES POWER POLE AND/OR
- DENOTES LAMP STANDARD
- DENOTES MANHOLE
- DENOTES CATCH BASIN
- DENOTES STREET SIGN
- DENOTES WATER VALVE
- DENOTES GAS VALVE
- DENOTES DRAINAGE GRATE
- DENOTES ELEVATION
- DENOTES CURB
- DENOTES CULVERT
- DENOTES CONDUIT
- DENOTES CANOPY/DRIFELINE
- DENOTES 16 INCH DIAMETER DECIDUOUS TREE WITH A GROUND ELEVATION OF 31.0
- DENOTES 16 INCH DIAMETER CONIFEROUS TREE WITH A GROUND ELEVATION OF 31.0

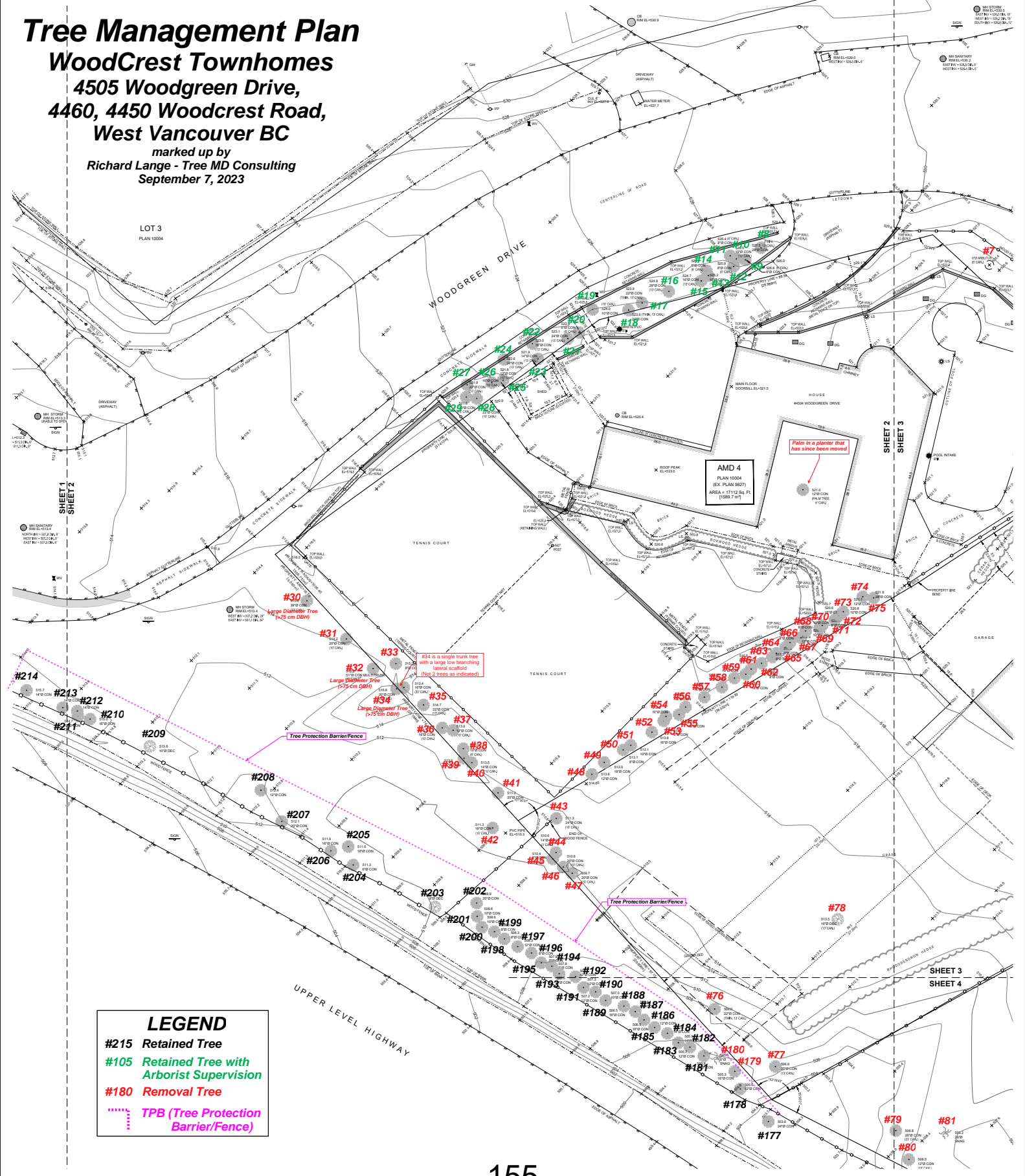
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 CERTIFIED CORRECT
 THIS DAY OF _____ 2022
 TYSON COYNE & C.L.L.
 FIELD SURVEY COMPLETED ON JULY 19th, 2022
 THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED.

Tree Management Plan

WoodCrest Townhomes

4505 Woodgreen Drive,
 4460, 4450 Woodcrest Road,
 West Vancouver BC
 marked up by
 Richard Lange - Tree MD Consulting
 September 7, 2023



Tree Management Plan

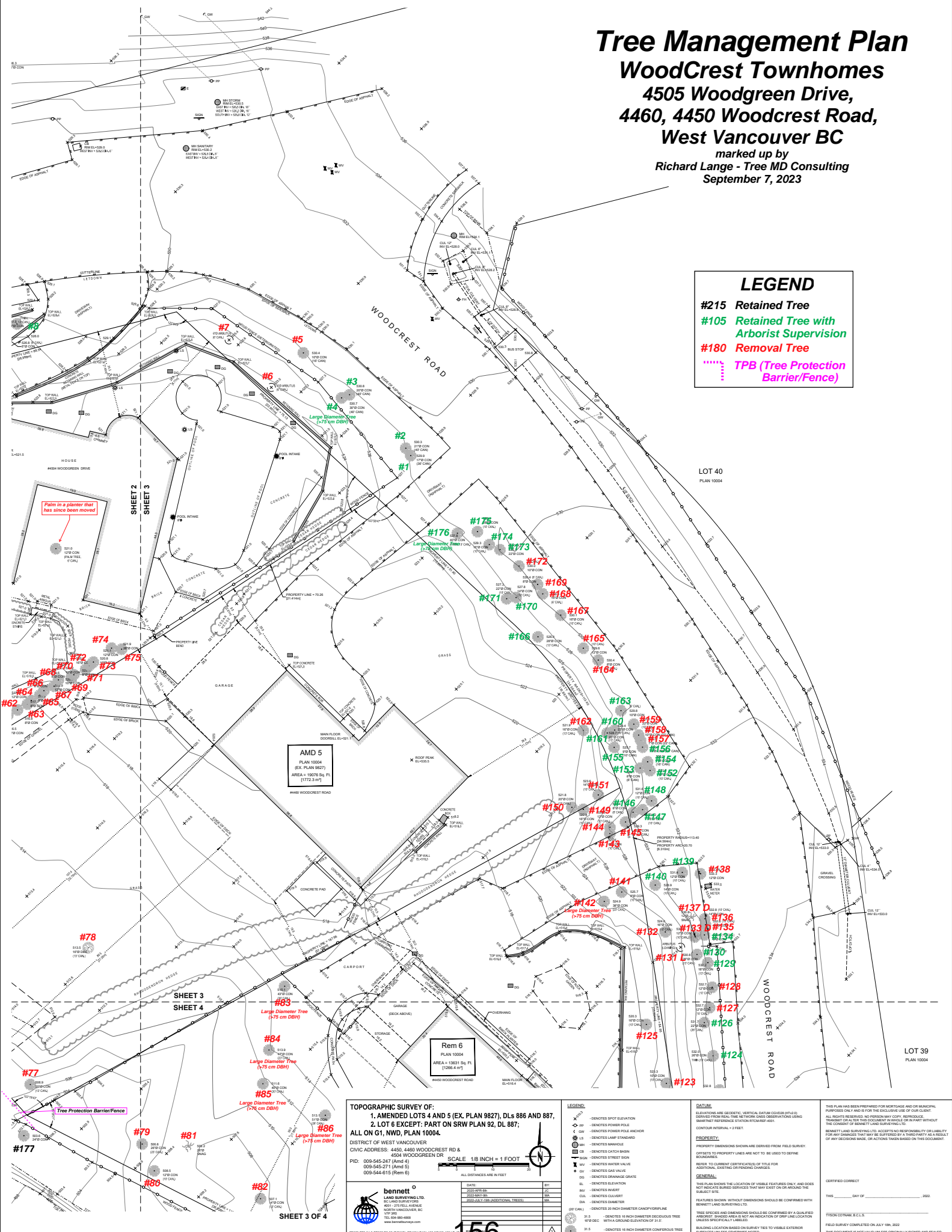
WoodCrest Townhomes

4505 Woodgreen Drive,
4460, 4450 Woodcrest Road,
West Vancouver BC

marked up by
Richard Lange - Tree MD Consulting
September 7, 2023

LEGEND

- #215 Retained Tree
- #105 Retained Tree with Arborist Supervision
- #180 Removal Tree
- TPB (Tree Protection Barrier/Fence)



TOPOGRAPHIC SURVEY OF:
1. AMENDED LOTS 4 AND 5 (EX. PLAN 9827), DLs 886 AND 887,
2. LOT 6 EXCEPT PART ON SRW PLAN 92, DL 887;
ALL ON G1, NWD, PLAN 10004.
 DISTRICT OF WEST VANCOUVER
 CIVIC ADDRESS: 4450, 4460 WOODCREST RD &
 4450 WOODCREST DR.
 PID: 009-545-247 (Amd 4)
 009-545-271 (Amd 5)
 009-545-615 (Rem 6)

DATE: 2022-09-26
 DATE: 2022-09-27
 DATE: 2022-09-27 (ADDITIONAL TILES)

SCALE 1/8 INCH = 1 FOOT

ALL DISTANCES ARE IN FEET

bennett
 LAND SURVEYING LTD.
 80 LAND SURVYORS
 4011 275 FELL AVENUE
 NORTH VANCOUVER BC
 TEL 604 261-4669
 WWW.BENNETTLANDSURVYORS.COM

156

LEGEND

- DENOTES SPOT ELEVATION
- DENOTES POWER POLE
- DENOTES LAMP STAND
- DENOTES CATCH BASIN
- DENOTES STREET SIGN
- DENOTES WATER VALVE
- DENOTES GAS VALVE
- DENOTES DRAINAGE GRATE
- DENOTES ELEVATION
- DENOTES INVERT
- DENOTES CULVERT
- DENOTES MANHOLE
- DENOTES 20 INCH DIAMETER CONDUIT/PIPELINE
- DENOTES 18 INCH DIAMETER DISCREETUS TREE WITH A GROUND ELEVATION OF 317'
- DENOTES 16 INCH DIAMETER CONIFEROUS TREE WITH A GROUND ELEVATION OF 317'

DATUM
 ELEVATIONS ARE GEODESIC, VERTICAL DATUM CANADIAN (VDZ05). DERIVED FROM BNA-TIME NETWORK DATA OBSERVATIONS USING SMARTNET REFERENCE STATION RTCA/SR-4051. CONTOUR INTERVAL - 5 FEET.

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CERTIFIED CORRECT

THIS _____ DAY OF _____, 2022.

RYSON COTNAM, E.C.L.S.

FIELD SURVEY COMPLETED ON JULY 18th, 2022

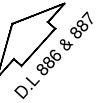
THIS DOCUMENT MUST BE HANDLED AS ORIGINALS SIGNED AND SEALED.

IMPORTANT:
CONTRACTOR IS RESPONSIBLE TO SCOPE AND EXPOSE EX. UTILITIES SERVICES, AND RECORD LOCATION, SIZE & INVERT ELEVATIONS AT PROP. OR POTENTIAL CROSSINGS PRIOR TO CONSTRUCTION. THE AS-BUILT UNDERGROUND INFORMATION SHOWN ON THIS DRAWING IS DERIVED FROM THIRD PARTY RECORDS AND VECTOR ENGINEERING'S IN NO WAY WARRANTS ITS ACCURACY. REPORT ANY DISCREPANCIES AND/OR CONFLICTS TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION.

THE SEAL ON THIS DRAWING SIGNIFIES CERTIFICATION OF CIVIL ENGINEERING ASPECTS OF THIS SITE, BUT DOES NOT SIGNIFY RESPONSIBILITY FOR GEOTECHNICAL OR ENVIRONMENTAL ENGINEERING DESIGN. IN NO WAY DOES VECTOR ENGINEERING SERVICES LTD. OR ITS EMPLOYEES ACCEPT LIABILITY OR WARRANTY THE WORK WITH RESPECT TO THE EFFECT OF SETTLEMENT ON THE CIVIL WORKS.

DATUM-GEODETIC
BENCHMARK: REAL-TIME
NETWORK GNSS OBSERVATIONS
USING SMARTNET REFERENCE
STATION RTCM-REF-4001
BASED ON CVD28

SCHEDULE D



GENERAL NOTES:

- CONTRACTOR TO VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING SERVICES, TO EXPOSE TIE-INS AND CROSSINGS SUFFICIENTLY IN ADVANCE OF ORDERING MATERIALS AND OF CONSTRUCTION, AND TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES. THIS IS TO ALLOW FOR ANY REDESIGN NECESSITATED BY ANY CONFLICTS. THE CONTRACT VALUE WILL BE ADJUSTED TO REFLECT THE ADDITION OR DELETION OF WORK RESULTING FROM THE REDESIGN. COST RESULTING FROM LATE EXPOSING OF CONFLICT POINTS (i.e. STANDBY TIME, RE-STOCKING FEE, RELAYING OF PIPE, ETC.) IS NOT CONSIDERED AN ADDITIONAL COST TO THE CONTRACT.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE DISTRICT OF WEST VANCOUVER'S CONSTRUCTION SPECIFICATIONS, STANDARD DETAIL DRAWINGS, AND ENGINEERING AND OPERATIONS DEPARTMENTS REQUIREMENTS.
- ALL SURFACES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER.
- ALL SERVICES DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR REPAIRED BY CITY FORCES AT COST TO DEVELOPER.
- ALL TRENCH RE-INSTATEMENT TO BE AS PER THE CITY OF DELTA CONSTRUCTION SPECIFICATIONS AND STANDARD DETAIL DRAWINGS. IN ADDITION, FOR ALL TRENCH PATCHES ON COLLECTOR AND ARTERIAL ROADS AND/OR WHERE EXCAVATED TRENCH DEPTH EXCEEDS 2.0m, ASPHALT SURFACE SHALL BE GROUND A MINIMUM OF 1.0m BEYOND EDGES OF TRENCH ACROSS FULL LANE WIDTH PERPENDICULAR TO LANE CENTRE LINE.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR PROTECTING OR RE-ESTABLISHING ALL SURVEY MONUMENTS, BENCHMARKS, PROPERTY STAKES AND SURVEY PINS.
- THE CONTRACTOR SHALL NOT ENTER PRIVATE PROPERTY WITHOUT THE WRITTEN PERMISSION OF THE OWNER.
- PRIOR TO START OF THE PROJECT, AFTER ISSUANCE OF 'ISSUED FOR CONSTRUCTION' DRAWINGS BY THE CITY, A PRE-CONSTRUCTION MEETING WITH THE ENGINEER, CONTRACTOR, CITY ENGINEERING & OPERATIONS STAFF IS TO BE ARRANGED BY THE DESIGN ENGINEER. CONTACT CITY LAND DEVELOPMENT TECHNOLOGIST A MINIMUM OF ONE WEEK PRIOR TO START OF THE PROJECT.
- CONTRACTOR TO SUPPLY THE ENGINEER WITH A COMPLETE SET OF 'AS CONSTRUCTED' RECORDS OF ALL INSTALLED WORKS, IN A FORM ACCEPTABLE TO THE ENGINEER.
- A MINIMUM OF 24 HOURS BEFORE COMMENCING ANY WORK THE CONTRACTOR IS TO NOTIFY VECTOR ENGINEERING SERVICES LTD.'S INSPECTOR FOR INSPECTION AND TO PROVIDE CONSTRUCTION SCHEDULE.

LEGEND	
■	PROP. HYDRO
■	PROP. TELE-COMMUNICATIONS (SHAW, TELUS, OTHERS)
■	PROP. GAS
-S-	EX. SAN.
-D-	EX. STM.
-W-	EX. W/M
-H-	EX. HYDRO
-T-	EX. TELE-COMMUNICATIONS (SHAW, TELUS, OTHERS)
-G-	EX. GAS
---	EXISTING P/L
---	PROPOSED P/L (AS NOTED IN PLAN)

REPLACE EX. SIDEWALK WITH CURB & GUTTER AND 1.8m WIDE CONC. SIDEWALK

CUT & CAP EX. WATER CONN AT MAIN (TYP. FOR ALL LOTS)

BY CITY AT COST TO DEVELOPER
PROP. 1500 DI WAT CONN

BY CITY AT COST TO DEVELOPER
PROP. 1500 PVC SAN CONN @ 2.0% AS PER MMCD STD. DWG. S7
C/W IC AT P/L & TIE-IN TO PROP MH. INV @ P/L = 155.05

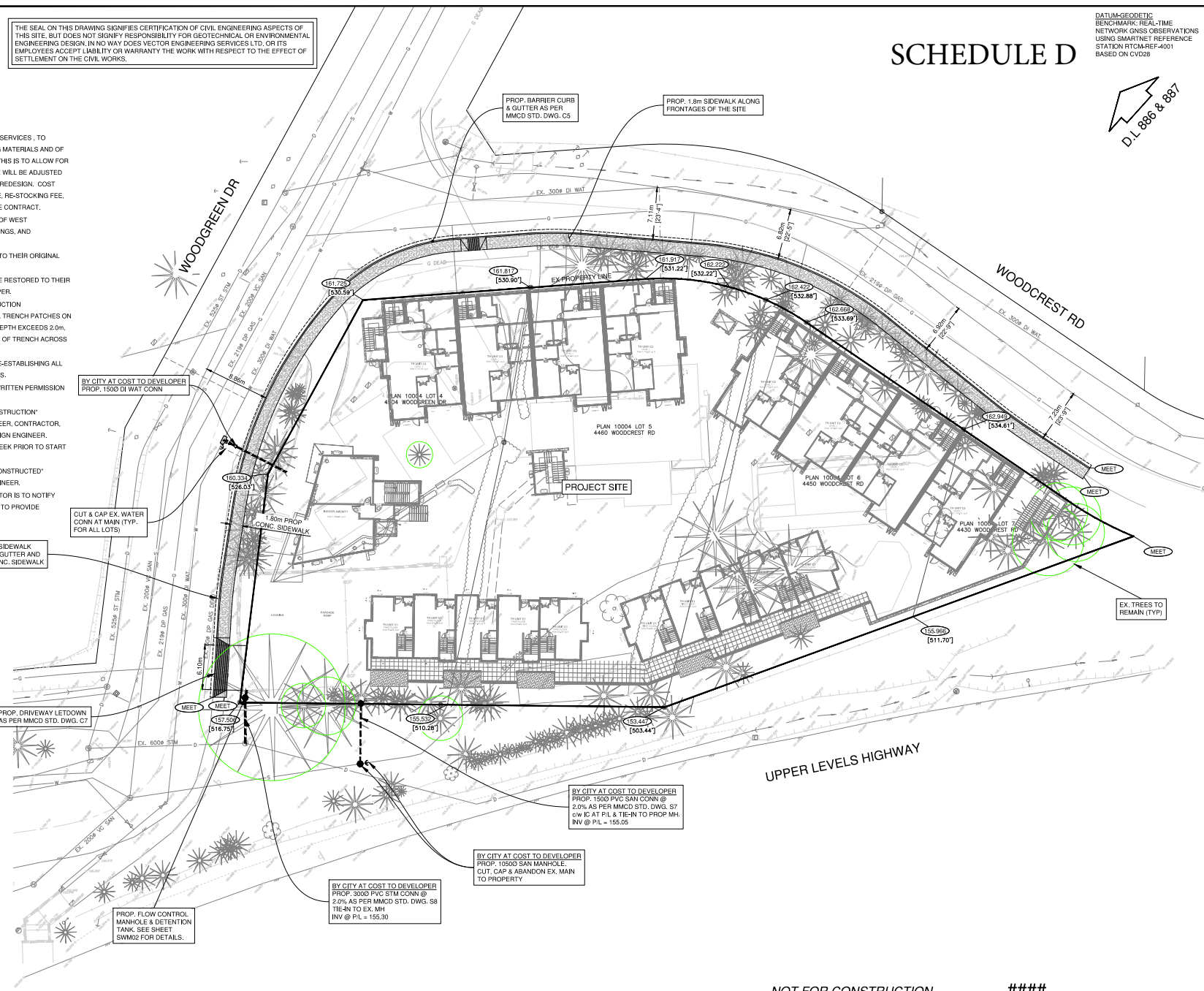
BY CITY AT COST TO DEVELOPER
PROP. 16500 SAN MANHOLE. CUT, CAP & ABANDON EX. MAIN TO PROPERTY.

BY CITY AT COST TO DEVELOPER
PROP. 3000 PVC STM CONN @ 2.0% AS PER MMCD STD. DWG. S8
TIE-IN TO EX. MH INV @ P/L = 155.30

PROP. FLOW CONTROL MANHOLE & DETENTION TANK. SEE SHEET SWM02 FOR DETAILS.

PROP. DRIVEWAY LETDOWN AS PER MMCD STD. DWG. C7

NOT FOR CONSTRUCTION
Plotted: Apr 15, 2024



REV NO	REVISIONS	DATE	DRAWN	DESIGN
0	ISSUED FOR DP	06 JAN 2023	JT	JT
1	UPDATED ARCH LAYOUT	15 APR 2024	JT	JT



SITE PLAN

WOODCREST TOWNHOMES
4504 WOODGREEN DR, 4460 & 4450 WOODCREST RD



VECTORENG.ca
604-298-2333
Permit to Practice #1002545

SCALE	1:250H 1:25V (24"X34" PAPER)	START DATE	JUNE 2021	DWG. NO.
DRAWN BY	JT	DESIGN BY	JT	SP01
CHECKED BY	VR	APPROVED BY		1 of 1
VECTOR JOB NO.	2612	CLIENT	SYMPHONY HOMES LTD.	REV. 1

DESTROY ALL PRINTS BEARING PREVIOUS NO.

Preliminary Consultation Summary - 4504 Woodgreen Dr, 4460 & 4450 Woodcrest Rd, West Vancouver, BC

Summary:

A digital preliminary consultation meeting was held on September 9th, 2021. In this meeting, Symphony Homes Limited presented to the community our middle housing concept to develop 44 townhouses, representing 49,819 sq. ft. of buildable and a FSR of approximately 1.2. The information of this concept can be found at www.4504-4450woodcrest.com

To encourage additional participation, we had hand delivered mail beyond the addresses provided by the city.

During the totality of the consultation process, 22 members of the community either attend or privately provide feedback regarding our preliminary proposal. We can summarize the responses as:

1. 2 Private Emails - Supporting the Project
2. 2 Private Emails – Not Supporting the Project
3. Our Meeting Consisted of:
 - a. 18 Attendees – *Of those who are not with Symphony Group / Architects / District of West Vancouver*
 - i. 4 of these attendees were opposed to the project
 - ii. 1 of the attendees was neutral / critical of the project
 - iii. 13 of the attendees were not vocal in their position on the project

The overall response from the community were centered around the following topics:

1. **Density** - The proposal is too dense for the neighborhood
2. **Unit Size** - The units need to be large enough to be considered “middle housing” for downsizers or young families.
3. **Traffic / Traffic Safety** - The proposal needs to have further studies conducted to understand the impact of traffic and the safety of having a driveway at the proposed location
4. **Infrastructure Upgrades** - The community feels that if the project were to move forward, it would like to see this as an opportunity to upgrade pedestrian walkways / sidewalks.

Response:

In this most recent application, we have made the following changes to reflect the feedback from the community:

1. **Density** – A reduction of 7 units, representing a unit count reduction of 16% and a FSR of 1.05.
2. **Increased Unit Sizes** – The average townhouse concept has been increased to 1,500 sqft to accommodate young families and downsizers
3. **Increased Green Space / Spacing Amongst Buildings** – To continue the theme of livability, we have created larger green spaces and separation amongst the townhouse buildings.

Outside of this application, and in respect to community feedback, we also plan to address:

4. **Traffic / Traffic Safety** – by conducting additional traffic studies to study the extent and impact of the driveway location & traffic.
5. **Infrastructure Upgrades** – to engage with the city and other departments to inquire the necessary steps to upgrade sidewalks around the property.

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COMMUNITY INPUT QUESTIONNAIRE

Development Application Address: 4504 Woodgreen Drive, 4450 & 4460 Woodcrest Road

Developer/Applicant: Symphony Homes Limited

Total Responses: 72 responses

Process:

- A developer hosted website was live between 4th & 26th March 2024. The website contained details of the development proposal along with a community input questionnaire.
- 2 newspaper adds were posted on 6th & 13th March 2024
- Development information including notice of Developers Information Session were mailed to all homeowners as instructed by Planning on 2nd March 2024.
- A Notice sign was posted at the proposed development location on 4th March 2024
- The Developer Information Session was held at West Vancouver Community Centre on 14th March 2024 between 5:30 & 7:30

Below is a summary of the Community Input Questionnaire. Where questions were asked that required a written response, the top 2-5 comments have been summarized.

List of Questions:

1. Community Needs and Desires:

Housing options & needs vary greatly throughout Metro Vancouver. What housing forms do you believe West Vancouver needs more of?

- | | |
|----------------------|-----------|
| 1. Single Family: | 4 |
| 2. Townhomes: | 54 |
| 3. Condos: | 19 |
| 4. All of the Above: | 12 |

What amenities or features would you like to see in this multi-family development?

- | | |
|--|-----------|
| 1. Space to rent for private function: | 20 |
| 2. Fitness Centre: | 25 |
| 3. Community Vegetable Gardens: | 24 |
| 4. Underground Parking: | 32 |
| 5. Children's Playground: | 19 |
| 6. All of the Above: | 52 |

2. Impact on Environment and Infrastructure:

This development is proposing a nature walking trail connecting Woodgreen and Woodcrest. Do you support this concept?

- | | |
|----------------|-----------|
| 1. Yes: | 71 |
| 2. No: | 1 |

What measures would you like to see in place to minimize environmental impact (e.g., green spaces, energy efficiency)?

- 1. Green spaces like the central courtyard proposed: 65**
- 2. Energy efficient appliance: 51
- 3. Triple glazed windows: 52
- 4. Sustainable building/construction materials 49
- 5. Other: 14
 - Sound barrier/concrete wall along the highway exit
 - EV chargers
 - Bicycle storage
 - Solar panels
 - Cut down as few large trees as possible

3. Affordability and Housing Options:

This development is proposing 37 Townhome units; reduced from 44. 11 units are 2 bedroom, 8 units are 2bedroom + Den and 18 units are 3 or 4 Bedrooms. Do you think the proposed housing options meet the needs of diverse income levels in the community?

- 1. Yes: 69**
- 2. No: 3

4. Aesthetic and Design Considerations:

The architectural style of the development can be considered “transitional” with west coast design elements. Do you like the exterior design?

- 1. Yes: 71**
- 2. No: 1

How important is it to you that the development blends with the existing character of the neighborhood?

- 1. Not Bothered: 36**
- 2. Not Important 6
- 3. Important: 14
- 4. Very Important: 16

5. Community Integration and Social Impact:

How can this development foster a sense of community and social interaction among residents?

- 1. Amenity building
- 2. Nature trail
- 3. Common Area

6. Safety and Security:

A. What safety measures would you like to see implemented in the design and management of this development?

1. Sidewalk
2. Street lighting
3. Surveillance camera

B. How can this development contribute to improving neighborhood safety?

1. Sidewalk
2. Street lighting
3. Surveillance camera

7. Transportation and Accessibility:

A. As part of this development proposal, the Developer intends to upgrade the access to the under Trans Canada Hwy subway. Do you believe an upgrade to access to the subway is important and/or needed?

- | | |
|---------|----|
| 1. Yes: | 64 |
| 2. No: | 8 |

B. Do you have any concerns regarding pedestrian or cyclist safety related to the development?

- No, not a concern
- Sidewalk

8. Local Economy and Businesses:

A. Do you believe this development will have a positive impact for local business and those located in the Caulfield Village Mall?

- | | |
|---------|----|
| 1. Yes: | 64 |
| 2. No: | 8 |

B. Are there opportunities for the development to support local entrepreneurs or businesses?

- | | |
|---------|----|
| 1. Yes: | 64 |
| 2. No: | 8 |

9. Community Support:

Do you support this development?

- | | |
|---------|----|
| 1. Yes: | 65 |
| 2. No: | 7 |

If No, please describe what type of redevelopment you would support:

- single family homes only in this quiet neighbourhood. Put a condo style complex over Caulfield Village instead (residential on top and commercial ground level)
- Gentle densification, perhaps a duplex on each property.

10. Feedback Mechanisms:

A. The Developer intends to host a project website to keep the public informed of the process and relevant updates. What channels would you prefer for ongoing communication and feedback about the development as it progresses?

1. Website:	65
2. Direct Mail:	0
3. Social Media:	12
4. Newspaper	1

B. How can the Developers ensure that community input continues to be valued throughout the project's lifecycle?

- Website updates and survey
- Public information event

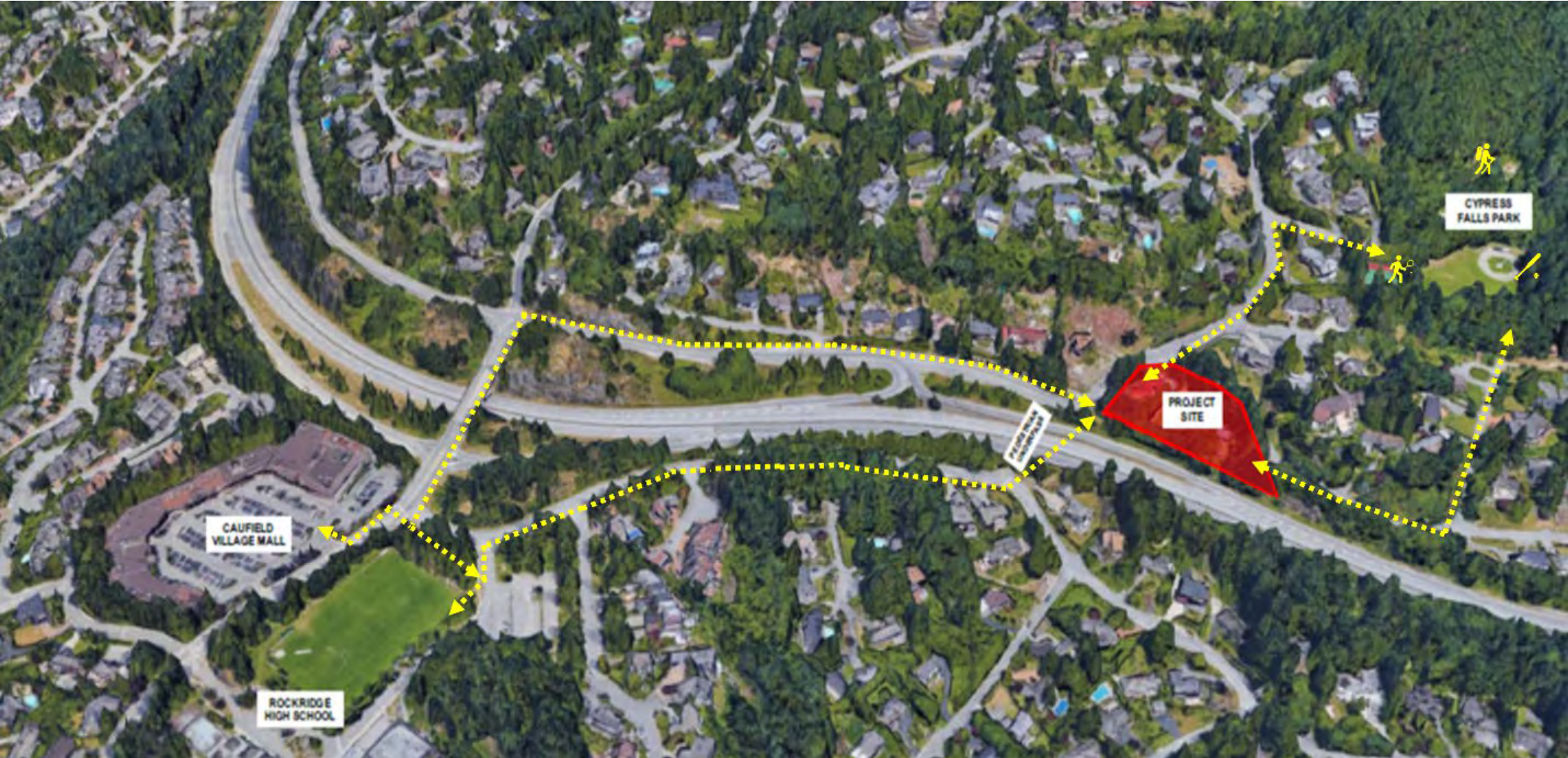


**4430, 4450, 4460 Woodcrest Road and 4504 Woodgreen Drive
“Woodcrest Townhomes”**

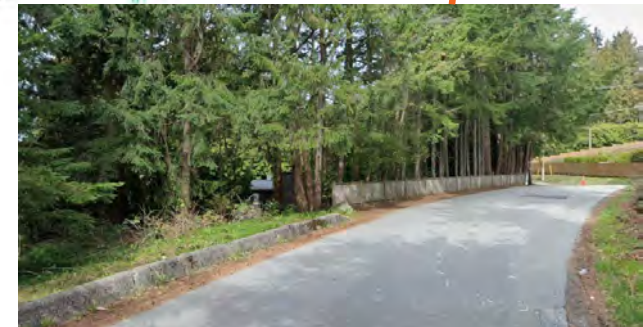
Council Meeting

March 9, 2026

Subject Site Context



Subject Site Attributes



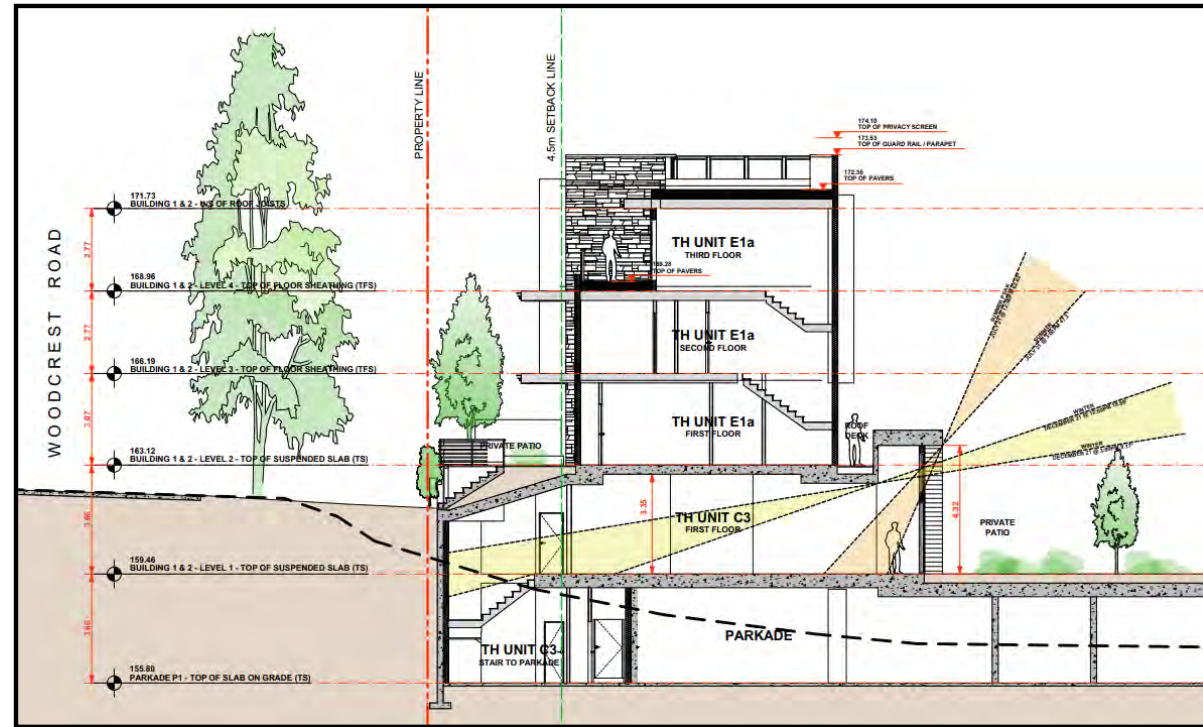
Proposal

- 37 townhouse units
- Approx. FAR of 1.05 (>56,000 sq. ft.)
- 4 townhouse buildings (with rooftop decks)
- 1 amenity building (with rooftop deck)
- Secondary indoor private gym area
- Building site coverage 40%
- 75 parking stalls (68 resident & 7 visitor)
- 116 bike parking stalls
- Accessed from southwest corner
- New east/west walkway south of the site
- Street level pedestrian entrances
- New sidewalk adjacent to the site



Proposal (cont'd)

- 4 storey buildings above parkade
- Presents as 3 storeys adjacent to Woodcrest Road
- Central landscaped common and play area
- Elevator 'pop-up' in courtyard
- Retains numerous trees at edges of site (>100)



4430 Woodcrest Road

- District owned parcel
- Site area: 338 m² (3,641 sq. ft.)
- Easternmost parcel of site
- Constraints: Slope, trees, size, configuration, road access
- Assumptions: (1) Not developable on its own (2) Probable highest and best use - assembled within larger development
- Estimate of market value (Appraisal): \$650,000
- Requires notification (in compliance with Community Charter)



Policy Considerations

Official Community Plan Policy 2.1.8

- a) Reporting to Council after preliminary application review to allow an early opportunity for public input;
- b) Considering sites or assemblies that present a degree of physical separation from adjoining single-family dwellings (e.g., adjacent to a green belt, grade change, park, school, or existing multi-family site);
- c) Requiring demonstration of minimal impact to access, traffic, parking and public views in the neighbourhood;
- d) Restricting to one or more a range of low-rise housing types including duplexes, triplexes, rowhouses, townhouses, seniors, rental and apartment buildings to a maximum of three storeys;
- e) Reviewing form and character to support siting and designs that respond and contribute to neighbourhood context and character; and
- f) Ensuring information meetings with public notification prior to formal Council consideration in accordance with District procedures.

Sustainable Building Policy

All new buildings should comply with the policy requiring Step 4 + Zero Carbon Step Code EL-3 (Part 3 building).

Community Amenity Contribution (CAC)

Applicant is proposing \$693,000

Technical and Design Review

Transportation and Parking

- Applicant submitted Transportation Impact Assessment (TIA)
 - Anticipated to generate 12 and 16 new vehicles trips in the AM and PM peak hours
 - TIA states, “The addition of development-related traffic results in minimal to no change to traffic operations...”
 - A total of 75 parking spaces (68 for residents and 7 for visitors) and 116 secure bicycle stalls which meets/exceeds DWV minimum requirements
 - TIA confirms that the proposed parkade entrance is suitable and safe (given site lines, signage and required speeds in the nearby vicinity)

Committee Reviews

Design Review Committee:

- July 20, 2023 - Required resubmission
- September 21, 2023 - Supported proposal following further design development

Planning Committee:

- November 20, 2024 - Supported architectural form and density for the site and within the neighbourhood subject to further review of items by staff.
- Staff are satisfied with TIA findings and that proposal addresses DRC and Planning Committee comments

Public Engagement

Preliminary Public Information Meeting – September 9, 2021

- 18 meeting attendees (4 opposed, 1 neutral, and 13 no position provided).
- Following meeting, applicant reduced the FAR (from 1.2), reduced the number of units (from 44) and introduced potential inclusion of 4430 Woodcrest Road.

Development Information Meeting – March 14, 2024

- Questionnaire provided by developer (with 72 respondents).
- Summary of questionnaire responses generally support the proposal.
- Following meeting, Council received numerous emails from the public expressing their non-support for the proposal, citing traffic, safety, lack of parking (on and off-site), view concerns, scale, and non-suitable 'fit' within Cypress Park Estates.

Public Hearing (concurrent Public Meeting)

- Signage and website updates, neighbour notification, 2 newspaper advertisements.

Staff Recommendation

It is recommended that Council advance the 37-unit townhouse proposal to a Public Hearing/Meeting on April 13, 2026, as the proposal:

- Is generally consistent with OCP policy 2.1.8 and Ground-Oriented Infill Housing Development Permit Area guidelines.
- Supported by Council’s strategic plan to “expand a diverse housing supply” in a location with a degree of separation from existing single-family dwellings.
- The proposal will deliver a desired form of housing that will help to address the “missing middle” in an area suitable for sensitive infill development near numerous community amenities, transit and highway access.

Thank You!
Questions?

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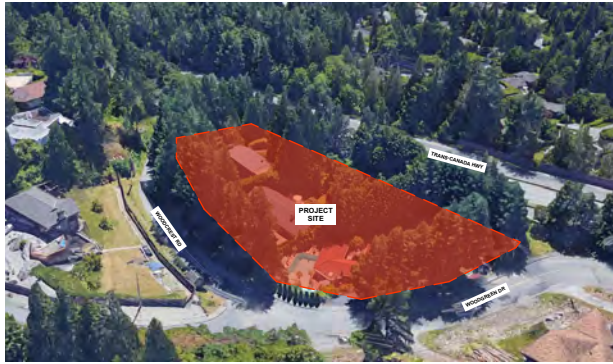
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SIEGRIST
ARCHITECTURE

Woodcrest Townhomes

Cover
012
February 19, 2026
Issue 07 - DP Resubmission
4504 Woodgreen Dr, 4460, 4450 & 4430 Woodcrest Rd, West Vancouver, BC

A-0.201



① South Aerial Perspective of Site
NOT TO SCALE



② North-West Aerial Perspective of Site
NOT TO SCALE



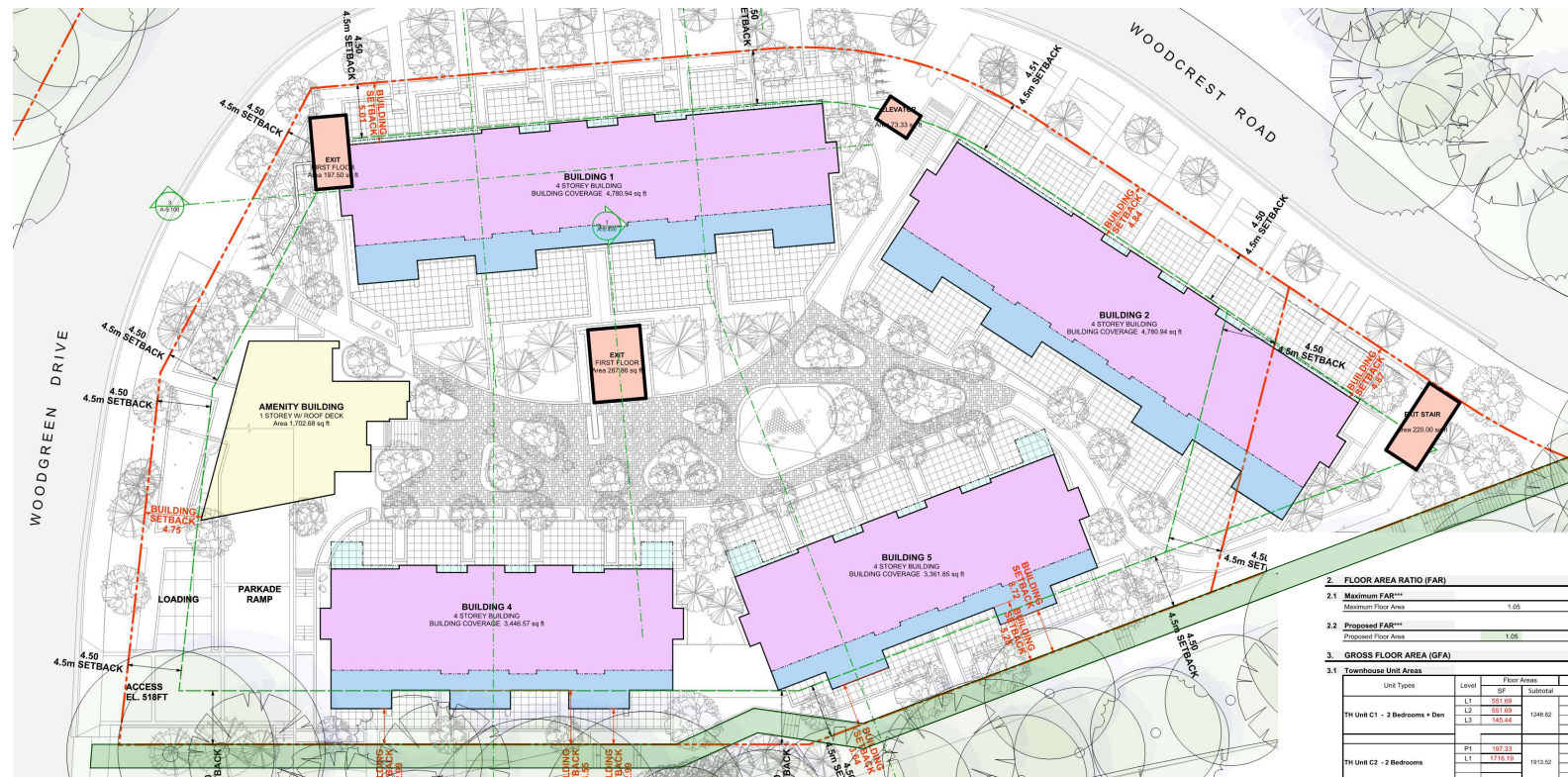
③ North-East Aerial Perspective of Site
NOT TO SCALE



④ South-East Aerial Perspective of Site
NOT TO SCALE



⑤ East Aerial Perspective of Site
NOT TO SCALE



2. FLOOR AREA RATIO (FAR)

2.1 Maximum FAR***	1.05	56,165.8 SF	5,212.1 m ²
2.2 Proposed FAR***	1.05	56,165.10 SF	5,217.9 m ²

3.1 Townhouse Unit Areas

Unit Types	Level	Floor Areas		Exclusions	Subtotal	Total	Number of Units	Total Unit Area		% of Number of Units
		SF	m ²					m ²	m ²	
TH Unit C1 - 2 Bedrooms + Den	L1	557.69								
	L2	557.69								
	L3	145.64								
						1348.02	8	950.02	928.15	21.9%
TH Unit C2 - 2 Bedrooms	PI	197.33								
	L1	1716.16								
	L2									
						1913.52	4	754.08	711.08	10.9%
TH Unit C3 - 2 Bedrooms	PI	197.33								
	L1	1674.81								
	L2									
						1872.14	4	748.56	695.70	10.9%
TH Unit C4 - 2 Bedrooms	PI	1287.46								
	L1									
	L2									
						1287.46	1	1287.46	119.61	2.7%
TH Unit C5 - 2 Bedrooms	PI	1246.95								
	L1									
	L2									
						1246.95	2	2493.90	231.69	5.4%
TH Unit D1 - 3 Bedrooms + Den	PI	1693.51								
	L1									
	L2									
						1693.51	2	3387.02	314.65	5.4%
TH Unit E1 - 3 or 4 Bedrooms	L1	531.69								
	L2	531.69								
	L3	491.65								
	L4									
						1514.03	12	18170.16	1688.89	32.4%
TH Unit E1a - 3 or 4 Bedrooms	L1	529.89								
	L2	529.89								
	L3	374.44								
	L4									
						1432.82	2	2865.64	266.22	5.4%
TH Unit E1b - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1c - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1d - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1e - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1f - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1g - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1h - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1i - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1j - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1k - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1l - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1m - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1n - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1o - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1p - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1q - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1r - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1s - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1t - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1u - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1v - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1w - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1x - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1y - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit E1z - 3 or 4 Bedrooms	L1	521.87								
	L2	521.87								
	L3	365.05								
	L4									
						1408.79	2	2818.72	261.87	5.4%
TH Unit D1	PI	1693.51								



12 sagiper
SAGIWALL - SIDING
Chocolate Blackwood (REF #3)

13 sagiper
SAGIWALL - SIDING
Knotty Maple (REF #79)



21 EXAMPLE OF:
sagiper
SAGIREV - SOFFIT
(color may not be accurate - see 1.1 above)



14 James Hardie™
HardiPanel® Vertical Siding
Iron Gray



15 James Hardie™
HardiPanel® Vertical Siding
Pearl Gray



16 VERETTA STONE®
LEDGESTONE STYLE STONE SIDING
Mission Point™



SIEGRIST

**WOODCREST
TOWNHOMES**

1.05 FSR
37 Units
56,165.10sf