



<i>COUNCIL AGENDA</i>	
Date: <u>March 9, 2026</u>	Item: <u>14.</u>



14.

MEMORANDUM

Date: February 17, 2026
To: Council
From: Erik Wilhelm, Senior Community Planner
Subject: 2905 Marine Drive (5-unit townhouse project)

RECOMMENDATION

THAT proposed "Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5296, 2024" be approved.

RECOMMENDATION

THAT proposed "Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5297, 2024" be approved.

RECOMMENDATION

THAT proposed "Development Permit No. 23-101" be approved.

Purpose:

This memorandum provides a brief overview of the background and adoption requirements for to a 5-unit townhouse project at 2905 Marine Drive.

Background:

Council initially considered a 5-unit townhouse proposal (see Figure 1) at 2905 Marine Drive (**Appendix A**) on October 7, 2024 and advanced the proposal to a Public Hearing on November 18, 2024. Following the Public Hearing, Council provided 2nd and 3rd readings of the associated zoning and OCP amendment bylaws on November 25, 2024.

A condition of adoption of the zoning amendment bylaw is payment of the voluntary community amenity contribution, in the amount of \$662,641.

Given recent economic conditions, the applicant requested that the District consider deferral of the CAC payment. Accordingly, the developer has worked with District staff to ratify a CAC deferral covenant to facilitate approval of the townhouse project at 2905 Marine Drive. The CAC deferral covenant was registered on the title of 2905 Marine Drive on February 2, 2026.



Figure 1 – Rendering of 5-unit townhouse proposal at 2905 Marine Drive

Analysis:

Typically, CAC payment is required prior to final approval of a zoning amendment. To secure payment of the CAC, the deferral covenant includes the following requirements and terms:

1. Payment of the CAC (\$662,641) prior to occupancy or no later than four (4) years after the registration of the covenant in the Land Titles Office (February 2, 2026), whichever comes first.
2. Interest to be paid on the unpaid CAC accrued at the rate of Prime¹ + 1%, compounded annually (and the rate shall not fluctuate thereafter).
3. Automatic discharge of the covenant upon full payment of the CAC and all accrued interest charges.
4. That the covenant “runs with the land” (which ensures payment of the CAC in compliance with the covenant) if the ownership of the property changes.

In summary, the CAC deferral covenant ensures the interests of the District, guarantees payment of the CAC (plus interest) and allows the development proposal at 2905 Marine Drive to move forward which further advances attaining housing targets within the District.

¹ The prime rate in Canada as of Feb. 2, 2026, was 4.45%.

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Author: 
Erik Wilhelm, Senior Community Planner

Concurrence: 
Michelle McGuire, Senior Manager of Planning and Urban Design


Appendices:
Appendix A: Context Map

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Appendix A – Context Map



	CONTEXT PLAN		DATE: Feb.25/22	REV: 0
	TITLE: 2905 Marine Drive		FILE: SK-1	

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District of West Vancouver

**Official Community Plan Bylaw No. 4985, 2018,
Amendment Bylaw No. 5296, 2024**

Effective Date:

Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5296, 2024

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District of West Vancouver

Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5296, 2024

A bylaw to amend the Official Community Plan to allow for housing development at 2905 Marine Drive to be included within the “Other Multiple Family Sites” development permit area.

Previous amendments: Amendment bylaws 5008, 5045, 5054, 5057, 5064, 5074, 5076, 5120, 5135, 5128, 5172, 5231, 5222, 5280, 5301, 5335 and 5291.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an amendment to the Official Community Plan to allow for the appropriate redevelopment of lands at 2905 Marine Drive and include the site within the “Other Multiple Family Sites” development permit area;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5296, 2024.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Amends Area-Specific Policy

3.1 Schedule ii of Official Community Plan Bylaw No. 4985, 2018 is amended as follows:

3.1.1 By amending the key map of Residential Area Delegations, on page 1 of Schedule ii, by identifying the location of 2905 Marine Drive as a “Multiple Family Site” on the map.

3.1.2 By amending Policy BF-B8 “Other Multiple Family Sites” as follows:

Within the preamble of Policy BF-B8 on page 19 of Schedule ii forming part of Official Community Plan Bylaw No. 4985, 2018, delete:

“The multiple family sites described as: Tudor Gardens, 843-22nd Street, Lot I, Block 5, DL 554, Plan LMP 1268; Esker Lane, 1253-1275 3rd Street, DL 1074 Strata Plan LMS 2681; 2170 Chairlift Road, Lot 21 Exc. Part on Highway Plan 122, Block B, DL 815, Plan 9624; and, 2100 Block Gordon Avenue, Lots 13, 14, 15 and 16 DL 775 are designated a Development Permit Area.”

And insert in its place:

“The multiple family sites described as: Tudor Gardens, 843-22nd Street, Lot I, Block 5, DL 554, Plan LMP 1268; Esker Lane, 1253-1275 3rd Street, DL 1074 Strata Plan LMS 2681; 2170 Chairlift Road, Lot 21 Exc. Part on Highway Plan 122, Block B, DL 815, Plan 9624; 2100 Block Gordon Avenue, Lots 13, 14, 15 and 16 DL 775; and 29th Street and Marine Drive, The South 100 Feet of Lot B Block 46 District Lot 556 Plan 8751 are designated a Development Permit Area.”

READ A FIRST TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on October 7, 2024

PUBLICATION OF NOTICE OF PUBLIC HEARING on November 6 and 13, 2024

PUBLIC HEARING HELD on November 18, 2024

READ A SECOND TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on November 25, 2024

READ A THIRD TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on November 25, 2024

ADOPTED by the Council (MAJORITY VOTE IN THE AFFIRMATIVE) on

Mayor

Corporate Officer

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District of West Vancouver

**Zoning Bylaw No. 4662, 2010,
Amendment Bylaw No. 5297, 2024**

Effective Date:

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5297, 2024

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District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5297, 2024

A bylaw to rezone 2905 Marine Drive for a 5-unit townhouse development.

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, 4767, 4787, 4788, 4784, 4772, 4971, 4805, 4809, 4828, 4854, 4873, 4866, 4895, 4839, 4898, 4927, 4944, 4905, 4974, 4967, 4982, 4962, 4928, 4992, 5001, 5021, 5024, 5009, 4938, 5044, 5055, 5051, 5068, 5065, 5087, 5110, 5106, 5132, 5161, 5160, 5013, 5122, 5155, 5169, 5192, 5175, 5171, 5201, 5230, 5081, 5223, 5270, 5281, 5321, 5328, 5338, 5336 and 5351.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an amendment to the Zoning Bylaw to allow for a 5-unit townhouse development at 2905 Marine Drive;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5297, 2024.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Adds CD85 Zone & Rezones the Lands

- 3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 600 (Comprehensive Development Zones) is hereby amended by adding Section 685 as the

CD85 – Comprehensive Development Zone 85 (2905 Marine Drive), as set out in **Schedule A** of this bylaw.

- 3.2 The Lands, as set out in **Schedule B** of this bylaw are rezoned from Single Family Dwelling Zone 2 (RS2) to Comprehensive Development Zone 85 (2905 Marine Drive) (CD85).

Part 4 Amends the Table of Contents

- 4.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 100 Table of Contents is amended accordingly to insert Comprehensive Development Zone 85 (2905 Marine Drive).

Part 5 Amends Zoning Map

- 5.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2, Zoning Maps is hereby amended by changing the zoning on the Lands as shown shaded on the map in **Schedule B** of this bylaw,

FROM: RS2 (Single Family Dwelling Zone 2)

TO: CD85 – Comprehensive Development Zone 85 (2905 Marine Drive).

Schedules

Schedule A – CD85 – Comprehensive Development Zone 85 (2905 Marine Drive)

Schedule B – Amendment to Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2, Zoning Maps

READ A FIRST TIME on October 7, 2024

PUBLICATION OF NOTICE OF PUBLIC HEARING on
November 6 and 13, 2024

PUBLIC HEARING HELD on November 18, 2024

READ A SECOND TIME on November 25, 2024

READ A THIRD TIME on November 25, 2024

ADOPTED by the Council on

Mayor

Corporate Officer

Schedule A – CD85 Zone

685 CD85 (2905 Marine Drive)

685.01 Permitted Uses

- (1) Accessory uses and structures
- (2) Cluster housing
- (3) Child care
- (4) Community care
- (5) Home based business

685.02 Floor Area Ratio (FAR)

A maximum of 0.9 FAR as calculated using Section 120.21 of the Zoning Bylaw

685.03 Density

A maximum of 5 dwelling units

685.04 Site Coverage

Maximum 40%

685.05 Setbacks

Minimum:

Front (south - Marine Drive):	3.96 metres
Rear (north):	4.5 metres
Side (east - 29th Street):	4.9 metres
Side (west):	10.5 metres

685.06 Building Height

- (1) Maximum 10.67 metres measured from Average Natural Grade to the midpoint of the sloped roofline.

685.07 Number of Storeys

- (1) Maximum 3 storeys (excluding underground parkade level).
- (2) Mechanical equipment is not included as a storey.

685.08 Off-Street Parking

The following must be provided and located within an underground parkade:

- (a) At least 8 residential parking stalls; and
- (b) A minimum of 1 visitor parking stall.

685.09 Bicycle Parking

Secure bicycle parking and short-term bicycle parking must be provided in compliance with Section 143 of the Zoning Bylaw.

685.10 Conditions of Use

Rooftop decks are prohibited.

Schedule B – Zoning Map Amendment

Amendment to Zoning Bylaw No. 4685, 2010, Schedule A, Section 852, Schedule 2, Zoning Maps.

The zoning of the site shown shaded on the map below is to be changed from RS2 to CD85.





District of West Vancouver

Proposed Development Permit No. 23-101

Current Owner: KGRB Holdings Inc., Inc. No. BC1141407
1400-1188 West Georgia Street, Vancouver, BC, V6E 4A2

This Development Permit applies to “the Lands”:

Civic Address: 2905 Marine Drive

Legal Description: THE SOUTH 100 FEET OF LOT B BLOCK 46 DISTRICT LOT 556
PLAN 8751 (PID: 004-516-311)

1. This Development Permit:

- (a) imposes requirements and conditions for the development of the Lands, which are designated by the Official Community Plan within the “Other Multiple Family Sites” Development Permit Area to ensure that multi-family developments meet a high quality of building and landscape design, and to maintain compatibility with adjoining single family dwellings and other land uses subject to Guidelines BF-B8 specified in the Official Community Plan; and
- (b) is issued subject to the Owner’s compliance with all of the Bylaws of the District applicable to the Lands, except as specifically varied or supplemented by this Permit.

2. The following requirements and conditions shall apply to the Lands:

- 2.1 Buildings, structures, and site development for the development proposal shall take place in substantial compliance with the drawings from F. Adab Architects Inc. dated January 2024 attached as Schedule “A” at the cost of the Owner.
- 2.2 On-site landscaping and off-site boulevard landscaping for the development proposal shall take place in substantial compliance with the drawings from Maruyama & Associates Landscape Architects dated January 23, 2023, attached as Schedule “B” at the cost of the Owner.
- 2.3 Tree Management, Removal and Protection Measures for the development proposal shall take place in compliance with the Tree Management Plan attached as Schedule “C”, and in compliance with the arborist report from Acer Tree Services Ltd. dated January 11, 2024 at the cost of the Owner.

3. The minimum energy performance of the development proposal shall conform with the Zero Carbon Step Code Level EL-3 and must meet the highest step of the BC Energy Code that is required under Building Bylaw No. 4400, 2004. Compliance with the required step shall be demonstrated through provision of sufficient documentation to the satisfaction of the Chief Building Official.
4. Prior to commencing site work or Building Permit issuance, whichever occurs first, the Owner must:
 - 4.1 Provide and implement a plan for traffic management during construction to the satisfaction of the District's Manager of Development Engineering (or designate).
 - 4.2 Install tree, vegetation and/or hedge protection measures as required to the satisfaction of the District's Environmental Protection Officer.
 - 4.3 Submit a "Sediment and Erosion Plan" to the District's Environmental Protection Officer for approval, which the Owner shall comply with and be responsible for maintaining, repairing and implementing the sediment control measures.
 - 4.4 Enter into a "Works and Services Agreement" to ensure installation of *off-site works* to the satisfaction of the District's Manager of Development Engineering (or designate).
5. Prior to the issuance of a building permit and as security for the due and proper completion of the landscaping as set forth in Section 2.1 and Section 2.2 of this Development Permit, the Owner shall:
 - (a) Provide, to the Land Development Department, a cost estimate for the on-site and off-site landscaping ("*landscaping works*") to be installed;
 - (b) Provide security equaling 100% of the landscaping cost estimate to the District in the form of cash or an unconditional, irrevocable auto-renewing letter of credit issued by a Canadian chartered bank or credit union;
 - (c) Upon confirmation by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects that *landscaping works* were installed in substantial compliance with Schedule "B", the District will return 75% of the landscape deposit; and
 - (d) After a one-year period following certification that the *landscaping works* have been completed, and upon final certification by a Landscape Architect in good standing with the British Columbia Society of Landscape Architects that the *landscaping works* are successful, the District will release the remaining 25% of the landscape deposit.
6. This Development Permit lapses if the work authorized herein is not commenced within 24 months of the date this permit is issued.

THE COUNCIL OF WEST VANCOUVER APPROVED THIS PERMIT BY RESOLUTION PASSED ON _____.

MAYOR

CORPORATE OFFICER

THE REQUIREMENTS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED ARE ACKNOWLEDGED AND AGREED TO BY THE CURRENT OWNER. IT IS UNDERSTOOD:

- THAT OTHER PERMITS / APPROVALS MAY BE REQUIRED INCLUDING PERMITS / APPROVALS FOR BUILDING CONSTRUCTION, SOIL AND ROCK REMOVAL OR DEPOSIT, BOULEVARD WORKS, AND SUBDIVISION; AND
- THE DEVELOPMENT MUST ATTAIN REQUIREMENTS OF THE BC BUILDING CODE AND ANY VARIANCES TO THE ZONING BYLAW ARE THE RESPONSIBILITY OF THE OWNER AND MUST BE RECTIFIED AT THE BUILDING PERMIT STAGE.

FOR THE PURPOSES OF SECTION 6, THIS PERMIT IS ISSUED ON _____.

Schedules:

A - Architectural Drawings (F. Adab Architects Inc. dated January 2024).

B - Landscape Plans (Maruyama & Associates Landscape Architects dated January 23, 2024).

C - Tree Management Plan (Excerpt from Arborist Report from Acer Tree Services Ltd. dated January 11, 2024)

TOWNHOUSE DEVELOPMENT PROPOSAL

2905 MARINE DRIVE, WEST VANCOUVER

5-UNIT TOWN HOUSE DEVELOPMENT

Schedule A



**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
TEL: (604) 987-3003 FAX: (604) 987-3033
E-MAIL: info@multigorfidab.com

This drawing, an instrument of service, is the property of F. Adab, Architect Inc. and may not be reproduced without his permission. All information shown on the drawing is for the use of this specific project only and will not be used otherwise without written permission from this office.

Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawing.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.

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- A-1.3 CONTEXT PHOTOS
- A-1.4a SURVEY PLAN
- A-1.4 SITE PLAN
- A-1.5 RENDERINGS 1
- A-1.6 RENDERINGS 2
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- A-1.9 DESIGN RATIONAL - MATERIALS
- A-1.10 SHADOW STUDY
- A-1.11 SHADOW STUDY OF IMMEDIATE NEIGHBOR TO THE NORTH
- A-1.12 SHADOW STUDY- COMPARISON IN DECEMBER
- A-2.1 FLOOR PLAN - UNDERGROUND PARKING
- A-2.2 FLOOR PLAN - 1ST FLOOR
- A-2.3 FLOOR PLAN - 2ND FLOOR
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- A-3.1 ELEVATIONS
- A-4.1 SECTIONS
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- A-5.2 STREET SCAPE COMPARISON (OLD AND NEW PROPOSAL)
- A-5.3 MASSING COMPARISON (OLD AND NEW PROPOSAL)
- A-5.4 SETBACKS COMPARISON (OLD AND NEW PROPOSAL)

CONSULTANTS CONTACT LIST:

ARCHITECT :

F. ADAB ARCHITECTS INC.
130 - 1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, B.C. V7P 3R4
TEL : 604 987 3003

LANDSCAPE ARCHITECT:

**ROD MARIYAMA
AND ASSOCIATES INC.**
680 Leg in Boot Square
Vancouver, BC V5Z 4B4
TEL : 604 874-9967

SURVEYOR:

**TARGET LAND SURVEYING -
COQUITLAM**
101- 1061 Ridgeway Avenue
Coquitlam, BC V3J1S6
TEL: 604 936 6151

CIVIL ENGINEER :

WEBSTER ENGINEERING LTD.
3745 Delbrook Ave
North Vancouver V7N 3Z4
TEL: 604-983-0458

ELECTRICAL CONSULTANT

PRIMARY ENGINEERING
209 - 8327 Eastlake Drive, Burnaby, BC
V5A 4W2
TEL: (604) 558-0401

STRUCTURAL CONSULTANT :

TLSE ENGINEERING INC.
121 West 6th Avenue,
Vancouver, B.C. V5Y 1K3
Tel: (604) 873-1768

PUBLIC RELATION CONSULTANT:

LIVEABLE CITY PLANNING LTD.
Cell (778) 899-7943
Vancouver BC Canada

TRAFFIC CONSULTANT

**CTS (CREATIVE TRANSPORTATION
SOLUTIONS LTD.)**
84A Moody Street
Port Moody, BC, V3H 2P5
TEL: 604 936 6190

MECHANICAL CONSULTANT :

AME CONSULTING GROUP
200-638 Smith Street
Vancouver, B.C.
TEL : 604 684 5995

ARBORIST

ACER TREE SERVICES LTD.
1401 crown street
North Vancouver, BC. V7J1G4
TEL: 604 990 8070

NO.	DATE	REVISION / ISSUED
7	Jan -2024	REISSUED PER ADP AND DWV
6	Sep -2023	REISSUED FOR REZONING APPLICATION
5	June -2023	FOR DWV AND COUNCIL REVIEW
4	July -2022	REVISED FOR REZONING APPLICATION PER ADP AND DWV
3	Mar -2021	ISSUED FOR REZONING APPLICATION
2	Nov -2020	REVISION FOR PLANNING REVIEW
1	May -2020	CONCEPTUAL DESIGN

PROJECT TITLE:

**2905 Marine Drive
West Vancouver**

DRAWING TITLE:

COVER SHEET

Designed by:

Pooyan Poostchi (M,Arch)

DATE:	SEP 2019	SHEET NO.:
SCALE:	NTS	A-1.0
DESIGN:	F.A. - P.P.	
DRAWN:	P.P.	
PROJECT NO.:	2002	

NEW PROJECT STATISTICS

PROJECT DATA:

CIVIC ADDRESS :
2905 MARINE DRIVE, WEST VANCOUVER, BC.

LEGAL DESCRIPTION :
PLAN 8751 DISTRICT LOT 556 BLOCK 46 LOT B S 100'.

ZONING:
EXISTING: RS2
PROPOSED: CD

SITE AREA:
13195 SQ.FT (1225.85 SQM)

SITE COVERAGE:
PROPOSED: 40%

NUMBER OF STOREY:
PROPOSED: 3-STOREY

FLOOR AREA RATIO:
PROPOSED: 0.9 (12076 SQFT /13195 SQFT)

* Under Ground Parking Level Excluded - Measured to the sheathing of exterior walls

SET BACKS (AVERAGE)
NORTH : 15' WEST : 34' 5"
SOUTH : 15' EAST : 16'

BIKE STALLS
REQUIRED BIKE STALLS: 17 (1 STALL/BEDROOM)
PROPOSED BIKE STALLS: 18

REQUIRED SHORT-TERM BIKE STALLS : 1 (0.2 /UNIT)
PROPOSED SHORT-TERM BIKE STALLS : 1

PARKING STALLS
REQUIRED PARKING STALLS: 5 (1 STALL/UNIT)
PROPOSED PARKING STALLS: 8 (All equipped with EV charger)

REQUIRED VISITOR PARKING STALLS : 1 (0.2 STALL/UNIT)
PROPOSED VISITOR PARKING STALLS: 1

STATS COMPARISON (OLD AND NEW PROPOSAL)

UNIT NO.	OLD	NEW
NO. OF UNITS	8	5
RESIDENTIAL AREA	13195 SQFT	12076 SQFT
PARKING STALLS	10	9
BIKE STALLS	23	18
#UNITS WITH ELEVATOR	3	5

UNIT MIX (NEW STATISTICS)

UNIT NO.	TYPE	AREA
Unit #1:	3 - Bedroom ELEVATOR	2245 Sqf
Unit #2:	4 - Bedroom + Den ELEVATOR	2749 Sqf
Unit #3:	4 - Bedroom + Den ELEVATOR	2778 Sqf
Unit #4:	3 - Bedroom ELEVATOR	2149 Sqf
Unit #5:	3 - Bedroom ELEVATOR	2149 Sqf
TOTAL		12076 Sqf

UNIT MIX (OLD STATISTICS)

UNIT NO.	TYPE	AREA
Unit #1:	2 - Bedroom	930.6 Sqf
Unit #2:	3 - Bedroom + Den ELEVATOR	2459.6 Sqf
Unit #3:	2 - Bedroom	1415.7 Sqf
Unit #4:	3 - Bedroom + Den ELEVATOR	2569.9 Sqf
Unit #5:	1 - Bedroom	703.7 Sqf
Unit #6:	2 - Bedroom	965.5 Sqf
Unit #7:	3 - Bedroom ELEVATOR	2399.9 Sqf
Unit #8:	2 - Bedroom + Den	1569.5 Sqf
TOTAL		13195 Sqf



F. ADAB ARCHITECTS INC.

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Contractors will verify and be responsible for all dimensions on the job. This office will be informed of any discrepancies and variations shown on drawing.

These design documents are prepared solely for the use by the party with whom the design professional has entered into a contract and there are no representations of any kind made by the design professional to any party with whom the design professional has not entered into a contract.

NO.	DATE	REVISION / ISSUED
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6	Sep -2023	REISSUED FOR REZONING APPLICATION
5	June -2023	FOR DWV AND COUNCIL REVIEW
4	July -2022	REVISED FOR REZONING APPLICATION PER ADP AND DWV
3	Mar -2021	ISSUED FOR REZONING APPLICATION
2	Nov -2020	REVISION FOR PLANNING REVIEW
1	May -2020	CONCEPTUAL DESIGN

PROJECT TITLE:
**2905 Marine Drive
West Vancouver**

DRAWING TITLE:

STATISTIC

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	SEP 2019	SHEET NO.:
SCALE:	NTS	A-1.1
DESIGN:	F.A. - P.P.	
DRAWN:	P.P.	
PROJECT NO.:	2002	

CONTEXT PLAN



AERIAL MAP



F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
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1	May -2020	CONCEPTUAL DESIGN
NO.	DATE	REVISION / ISSUED

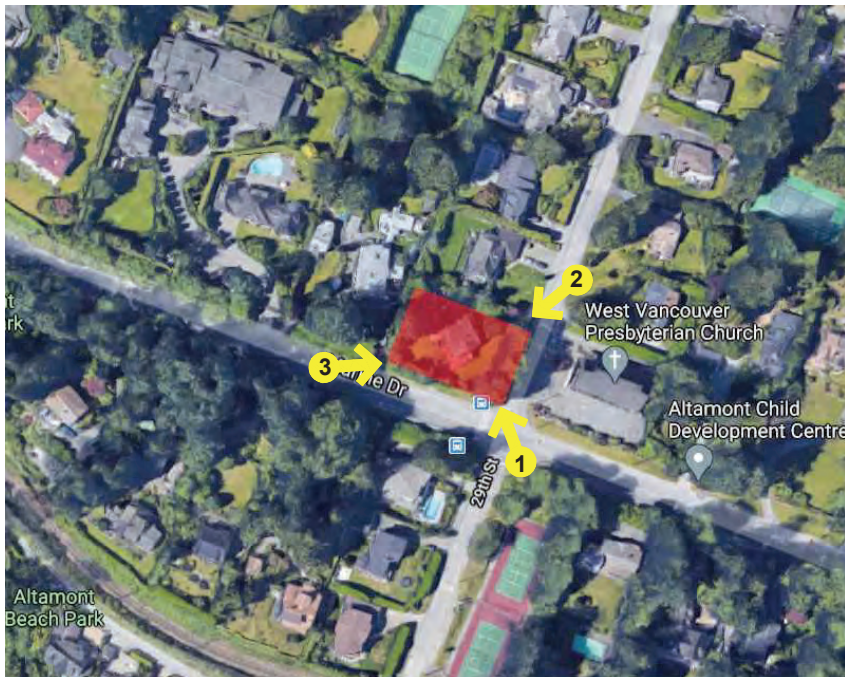
PROJECT TITLE:
**2905 Marine Drive
West Vancouver**

DRAWING TITLE:
CONTEXT AND AERIAL MAPS

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	SEP 2019	SHEET NO.:
SCALE:	NTS	A-1.2
DESIGN:	F.A. - P.P	
DRAWN:	P.P.	
PROJECT NO.:	2002	

CONTEXT PHOTOS



1



2



3



**F. ADAB
ARCHITECTS
INC.**

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
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2	Nov -2020	REVISION FOR PLANNING REVIEW
1	May -2020	CONCEPTUAL DESIGN

PROJECT TITLE:
**2905 Marine Drive
West Vancouver**

DRAWING TITLE:

CONTEXT PHOTO

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	SEP 2019	SHEET NO.:	A-1.3
SCALE:	NTS		
DESIGN:	F.A. - P.P		
DRAWN:	P.P.		
PROJECT NO.:	2002		



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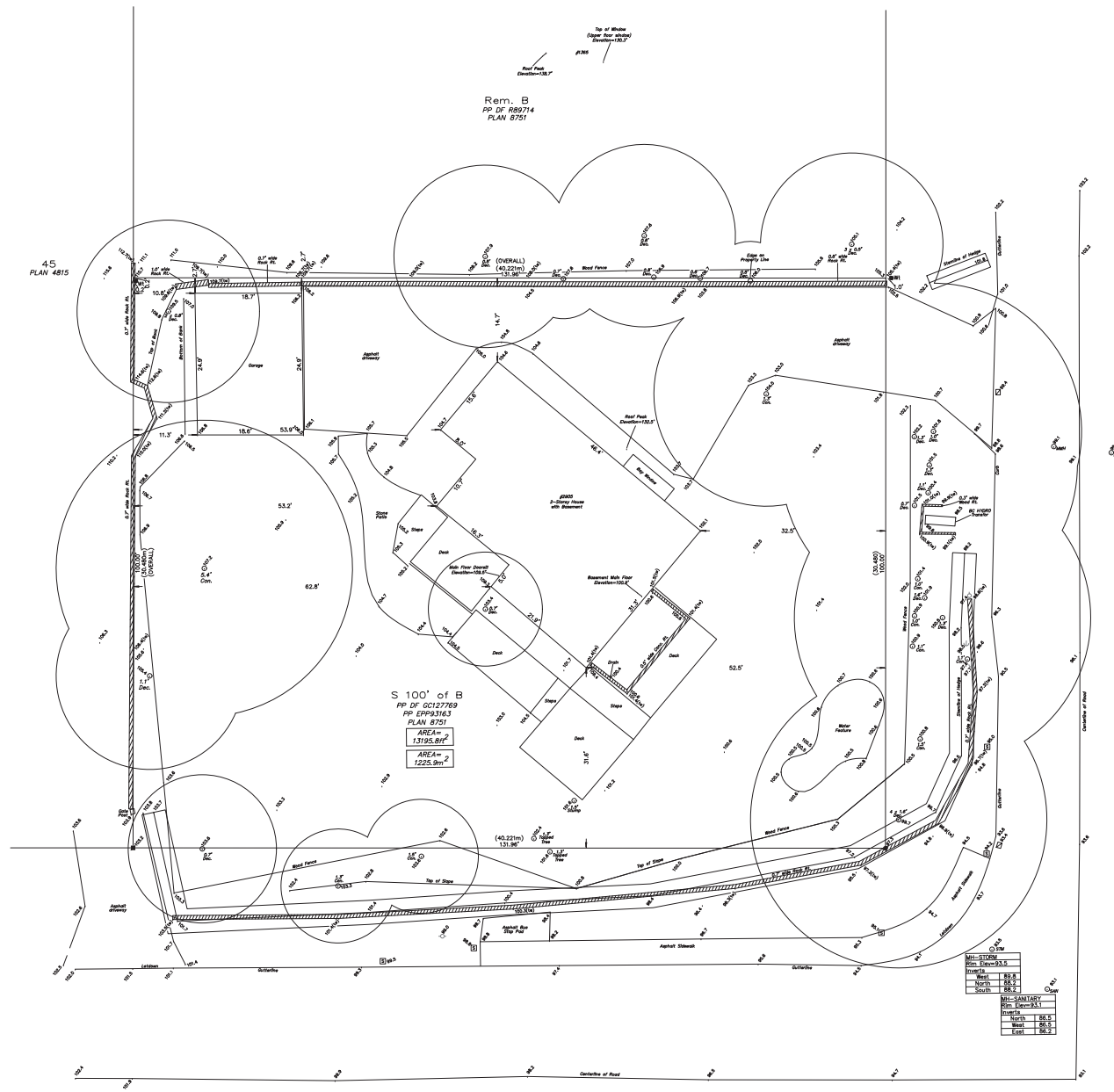
PROJECT TITLE:
**2905 Marine Drive
West Vancouver**

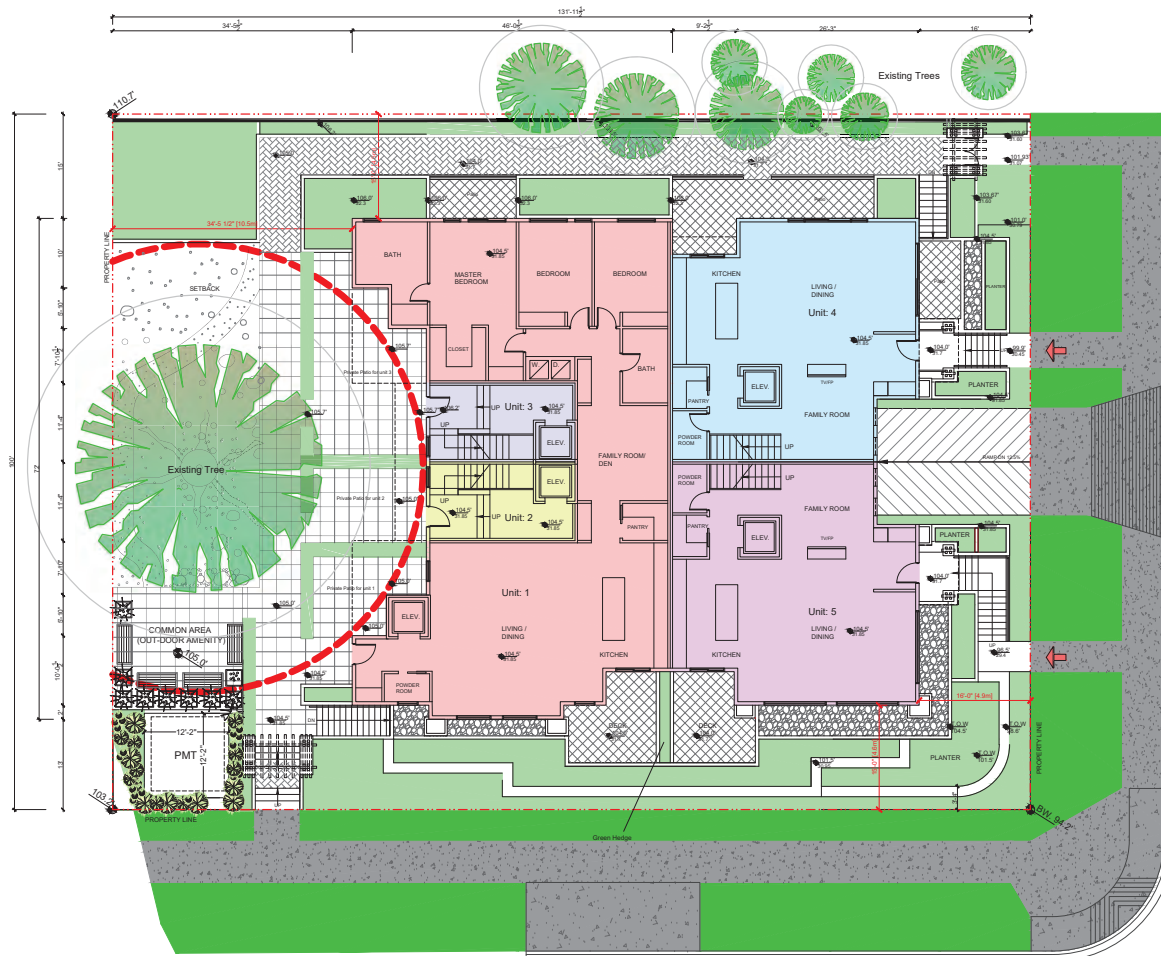
DRAWING TITLE:
SURVEY

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	SEP 2019	SHEET NO.:	
SCALE:	NTS		
DESIGN:	F.A. - P.P		
DRAWN:	P.P.		
PROJECT NO.:	2002		

A-1.4(a)





1st FLOOR PLAN

MARINE DRIVE

29TH STREET

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-
-
-



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1	May -2020	CONCEPTUAL DESIGN

PROJECT TITLE:
**2905 Marine Drive
West Vancouver**

DRAWING TITLE:
SITE PLAN

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	SEP 2019	SHEET NO.:
SCALE:	NTS	A-1.4
DESIGN:	F.A. - P.P.	
DRAWN:	P.P.	
PROJECT NO.:	2002	



VIEW FROM 29TH STREET



VIEW FROM THE INTERSECTION OF 29TH STREET AND MARINE DRIVE



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1	May -2020	CONCEPTUAL DESIGN

PROJECT TITLE:
**2905 Marine Drive
West Vancouver**

DRAWING TITLE:
RENDERINGS

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	May 2020	SHEET NO.:	A-1.5
SCALE:	NTS		
DESIGN:	F.A. - P.P.		
DRAWN:	P.P.		
PROJECT NO.:	2002		



VIEW FROM MARINE DRIVE (SOUTH WEST)



VIEW FROM 29TH STREET (NORTH EAST)



BIRD'S EYE VIEW FROM THE 29TH STREET (NORTH EAST)



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PROJECT TITLE:

**2905 Marine Drive
West Vancouver**

DRAWING TITLE:

RENDERINGS

Designed by:

Pooyan Poostchi (M,Arch)

DATE:	May 2020	SHEET NO.:
SCALE:	NTS	A-1.6
DESIGN:	F.A. - P.P	
DRAWN:	P.P.	
PROJECT NO.:	2002	

Site Characteristics and Context

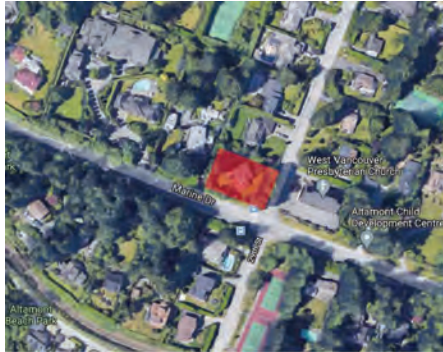
The site occupies 1225.85 sqm of land and is located at the prominent intersection of Marine Drive and 29th Street. The Presbyterian Church is located across 29th Street to the east and there are single family houses to the north and west sides.

There is a large cedar tree on the west side of the property that will be retained.

There are two public tennis courts across the street on the south east corner of Marine Drive and 29th Street.

The site has the advantage of being located on a major public transit corridor. The site also enjoys the advantages of being within walking distance to the elementary schools, a park, tennis courts, a child development center (day care) and local neighbourhood shopping facilities.

The site has a moderate slope from the north to south and from west to east having the highest grade at the northwest and the lowest point at the southeast corner.



Project Objectives and Statistics

The proposed development consists five units including of two 4-bedroom and three 3-bedroom townhomes of different sizes ranging from **2100 to 2800 sqft** all equipped with elevator accessible from parkade to all floors.
The total area of the proposed development is 12076, allowing for floor space ratio of 0.9

The objective of the proposed design is to respond to the much needed new high-quality option housing considering the character of the project fits in the neighborhood area . The mix and size of the units aim to provide housing for the young families, local professionals and empty nesters.

Many seniors in the DWV are either staying in their large homes or moving to North Vancouver or Downtown. Densified developments provide the opportunity to downsize and enjoy a better life by staying in touch with existing social circles.

According to information provided by real estate agents, many residents including youth and seniors, are supportive of the idea of having better and more options of housing for young families and downsizer.

Since close to 70% of the housing stock in West Vancouver is single family housing, the only option for downsizing is to move to an apartment building that is either too small or old.

The number of larger apartment buildings in West Vancouver are very few, and the only option for larger accommodation is a penthouse with an extremely expensive price tag. This clearly demonstrates that such this type of housing is a much better transitional option for seniors that presently own a large single family home that often requires significant maintenance.



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PROJECT TITLE:
**2905 Marine Drive
West Vancouver**

DRAWING TITLE:

DESIGN RATIONALE

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	SEP 2019	SHEET NO.:	
SCALE:	NTS		
DESIGN:	F.A. - P.P		A-1.7
DRAWN:	P.P.		
PROJECT NO.:	2002		

Massing, Form and Character

From a massing point of view, the intention is to design a building that has the appearance of a large single family development with a west coast character. The massing is organized in a manner that responds to the need of preserving the large cedar tree on the west side of the property, as well as respecting the privacy of the surrounding single family houses.

Outdoor patios are provided at grade for each unit to create a livable private amenity for each occupant. These patios are considered semi private with wood fence and green buffer to create a territorial identity. Balconies and windows on the 2nd and 3rd floors also provide “**eyes on the street**” to emphasize safety and security.

Parking is located underground and vehicular access is provided from 29th Street. This complies with the **Altamont Design Guidelines**. 9 parking stalls have been provided in the parkade. Access to under ground parking and the impact of traffic on 29th Street has been reviewed and approved by a traffic consultant.

The amount of openings facing northern neighbours has been significantly reduced on the second and third floors to the north to respect the privacy of adjacent property which complies with the **Altamont Design Guidelines**

All exterior parking walls are covered with planters and landscaping. 18 bike storages are provided in the underground parkade offering more than required one stall per bedroom, and also 2 visitor bike stalls beside the pedestrian entrance on the south-west .

The façade of the building compromises natural stone, wood siding and prefabricated cement boards. Solid wood trims will be introduced to enhance the west coast vocabulary. The roof, gables, windows and articulation of the façade are organised to give the appearance of a large single family house.

A large outdoor amenity is provided around the preserved cedar tree creating opportunity for social interaction and entertainment.

All units have individual entries with an identifiable canopy over the entry door equipped with elevators accessible from all floors (from parkade to third floor).

The view impact of the proposal from the neighbouring properties will be very similar to the present situation. This is due to the fact that the existing trees along the north and west property lines which have been retained create a barrier towards the view to the south, and the height of the proposed building is similar to the adjacent properties.

Also, the top of the existing roof is approximately as same as the proposed design.

The proposed design is nearly identical in height to the peak of the existing pitched roof and is positioned lower than the neighboring structure to the north

Sustainability, Energy Performance and Green Measures

The location of the site and the design measures that have been introduced for the proposed development results in achieving sustainable and green building strategies that meet the community objectives.

These measures include:

- Presently there are a few mature trees along the north property line with an existing low rock retaining wall. These trees will be protected and retained. There is also a large cedar tree within the site that shapes the footprint of the design allowing for this tree to be retained. A tree evaluation report has been prepared by an arborist and tree protection zones have been identified.
- The proposal has the advantage of being located on the public transit corridor and within close walking distance from schools, shopping and recreational facilities and neighbourhood parks.
- Most of the units face two directions and have large windows offering ample daylighting, cross ventilation and contribute to the overall sustainability of the project.
- The proposal provides housing diversity and affordable “**middle housing**” accommodation suitable for young professionals, academics, and local employees. This results in reducing commuting from DWV to the other communities either by private or public transportation.
- Use of renewable energy supply by introducing a geothermal energy supply, heat recovery system, and electric furnace system.
- The project complies with step 3 with low carbon energy of the building code energy conservation measures.
- Efficient use of water and energy efficient fixtures and appliances.
- Use of drought tolerant plants to minimize the use of potable water.
- Where possible, operating windows are located on opposite or adjacent walls to draw ventilation across the occupied spaces.
- The building envelope, glazing, and mechanical system will be designed in compliance with ASHRE 90, 2010
- All units have private patios at grade and 2nd floor decks, contributing to livability of the units and creating a family oriented environment.
- All units have electric vehicular chargers complying with level two standards.



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1	May -2020	CONCEPTUAL DESIGN
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:
2905 Marine Drive West Vancouver

DRAWING TITLE:
DESIGN RATIONALE

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	SEP 2019	SHEET NO.:
SCALE:	NTS	A-1.8
DESIGN:	F.A. - P.P	
DRAWN:	P.P.	
PROJECT NO.:	2002	

Exterior Finishes and color

The selection of the exterior finishes is based on enhanced durability / longevity of the construction materials as part of a sustainable approach.

Emphasis is given on a rich west coast character with wood and stone being the dominant exposed materials. These materials provide a rich architectural articulation that reflects the harmony of the natural environment with the building envelope.

Wood siding, natural stained wood fascias, wood brackets, gables and trims are made of local and sustainable materials.

The dominant colours of the façade are light and dark natural wood and grey prefabricated cement boards. The roof is a dark grey zinc and the stone is light grey.

Stairs and balcony railings are wood.

Windows are vinyl with a wood appearance on the outside and off white inside.



ELEVATION VIEW FROM 29TH ST.

EXTERIOR FINISHES



1 CULTURED STONE
COBBLEFIELD ECHO RIDGE - BY BORAL



2,5 6" & 8" HORIZONTAL CEDAR SIDING & SOFFIT -



3 ZINC ROOF



4 HARDIE PANEL / SW 7066
REVEALS (IN HARDIE PANELS) - COLOUR SAME AS PANELS

6 WINDOW
VINYL - PAINTED TO MATCH CEDAR SIDING

7 RAILING
NATURAL WOOD & CLEAR SAFETY GLASS

8 WINDOW SILL & WALL CAP PRECAST CONCRETE
PAINTED - SW 7667 ZIRCON

9 PLANTER EXPOSED CONCRETE
PAINTED - SW 7667 ZIRCON

10 ENTRY DOORS
NATURAL WOOD - STAINED CEDAR

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PROJECT TITLE:
**2905 Marine Drive
West Vancouver**

DRAWING TITLE:
DESIGN RATIONALE - MATERIALS

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	SEP 2019	SHEET NO.:	
SCALE:	NTS		
DESIGN:	F.A. - P.P.		A-1.9
DRAWN:	P.P.		
PROJECT NO.:	2002		



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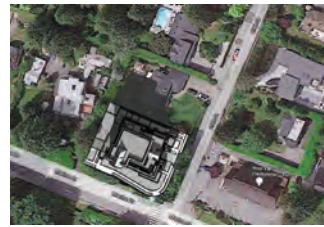
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10 A.M

12 A.M

2 P.M

4 P.M



MARCH, 21st

JUNE, 21st

DECEMBER, 21st

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PROJECT TITLE:
**2905 Marine Drive
West Vancouver**

DRAWING TITLE:
SHADOW STUDY

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	SEP 2019	SHEET NO.:
SCALE:	NTS	A-1.10
DESIGN:	F.A. - P.P	
DRAWN:	P.P.	
PROJECT NO.:	2002	

NORTHERN NEIGHBOR

SHADOW ANALYSIS - DECEMBER 21ST

10:00 am.



12:00 pm.



2:00 pm.



4:00 pm.



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PROJECT TITLE:
**2905 Marine Drive
West Vancouver**

DRAWING TITLE:
SHADOW STUDY
NORTHERN NEIGHBOUR

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	SEP 2019	SHEET NO.:	
SCALE:	NTS		
DESIGN:	F.A. - P.P		
DRAWN:	P.P.		
PROJECT NO.:	2002		

A-1.11

COMPARISON SHADOW ANALYSIS - DECEMBER 21ST

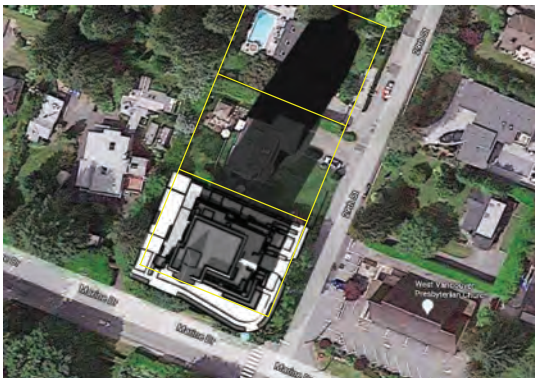
10:00 am.



12:00 pm.



2:00 pm.



4:00 pm.



SHADOW OF THE PROPOSED BUILDING
 SHADOW OF THE NEIGHBOR TO THE NORTH



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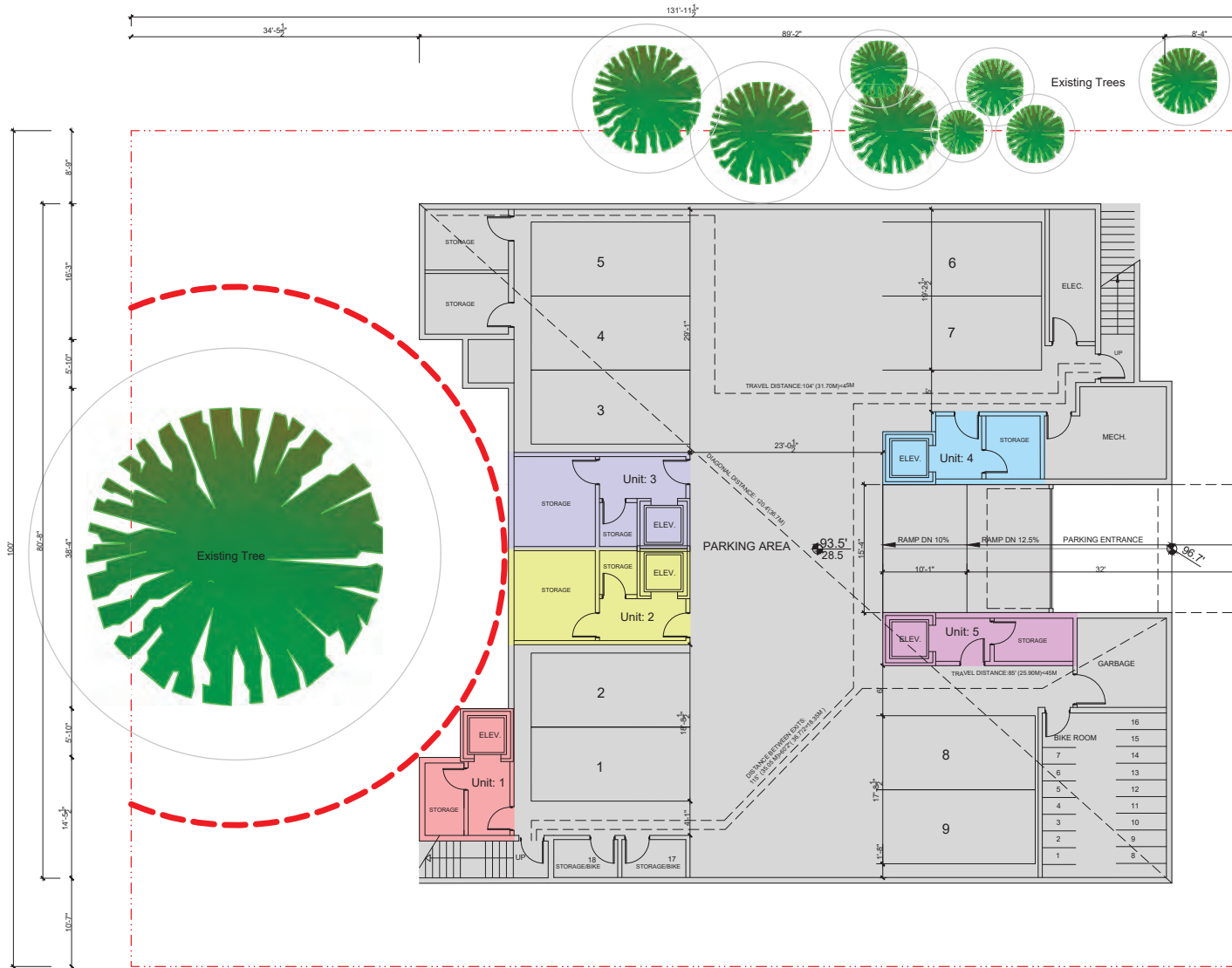
PROJECT TITLE:
**2905 Marine Drive
 West Vancouver**

DRAWING TITLE:
 SHADOW STUDY - COMPARISON

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	SEP 2019	SHEET NO.:	
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DESIGN:	F.A. - P.P.		
DRAWN:	P.P.		
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A-1.12



29TH STREET



UNDERGROUND PARKING PLAN

MARINE DRIVE



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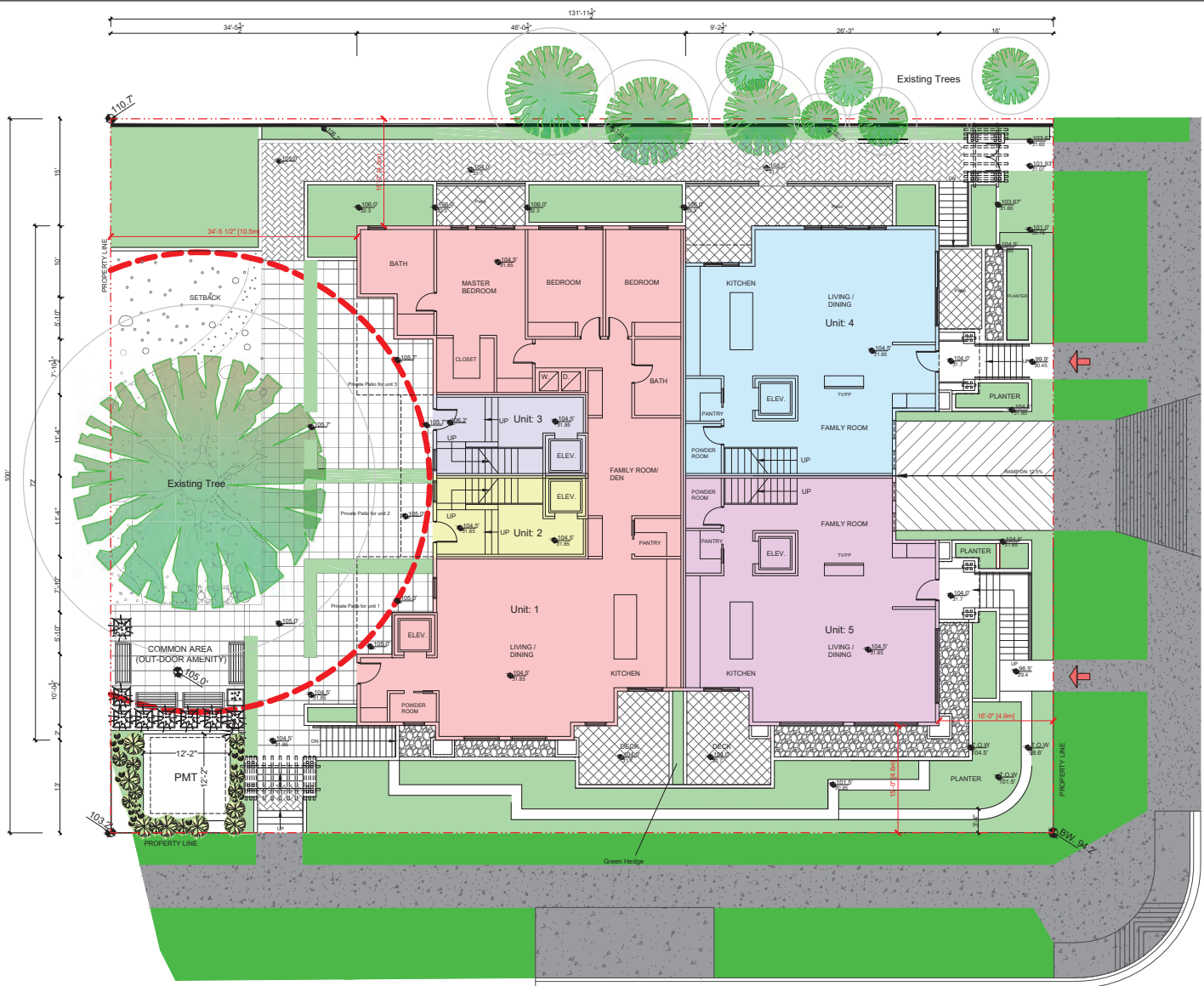
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3	Mar -2021	ISSUED FOR REZONING APPLICATION
2	Nov -2020	REVISION FOR PLANNING REVIEW
1	May -2020	CONCEPTUAL DESIGN

PROJECT TITLE:
**2905 Marine Drive
West Vancouver**

DRAWING TITLE:
UNDERGROUND PARKING PLAN

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	SEP 2019	SHEET NO.:
SCALE:	NTS	A-2.1
DESIGN:	F.A. - P.P.	
DRAWN:	P.P.	
PROJECT NO.:	2002	



1st FLOOR PLAN

MARINE DRIVE

-
-
-
-

29TH STREET



F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
NORTH VANCOUVER, BC V7P 3R4
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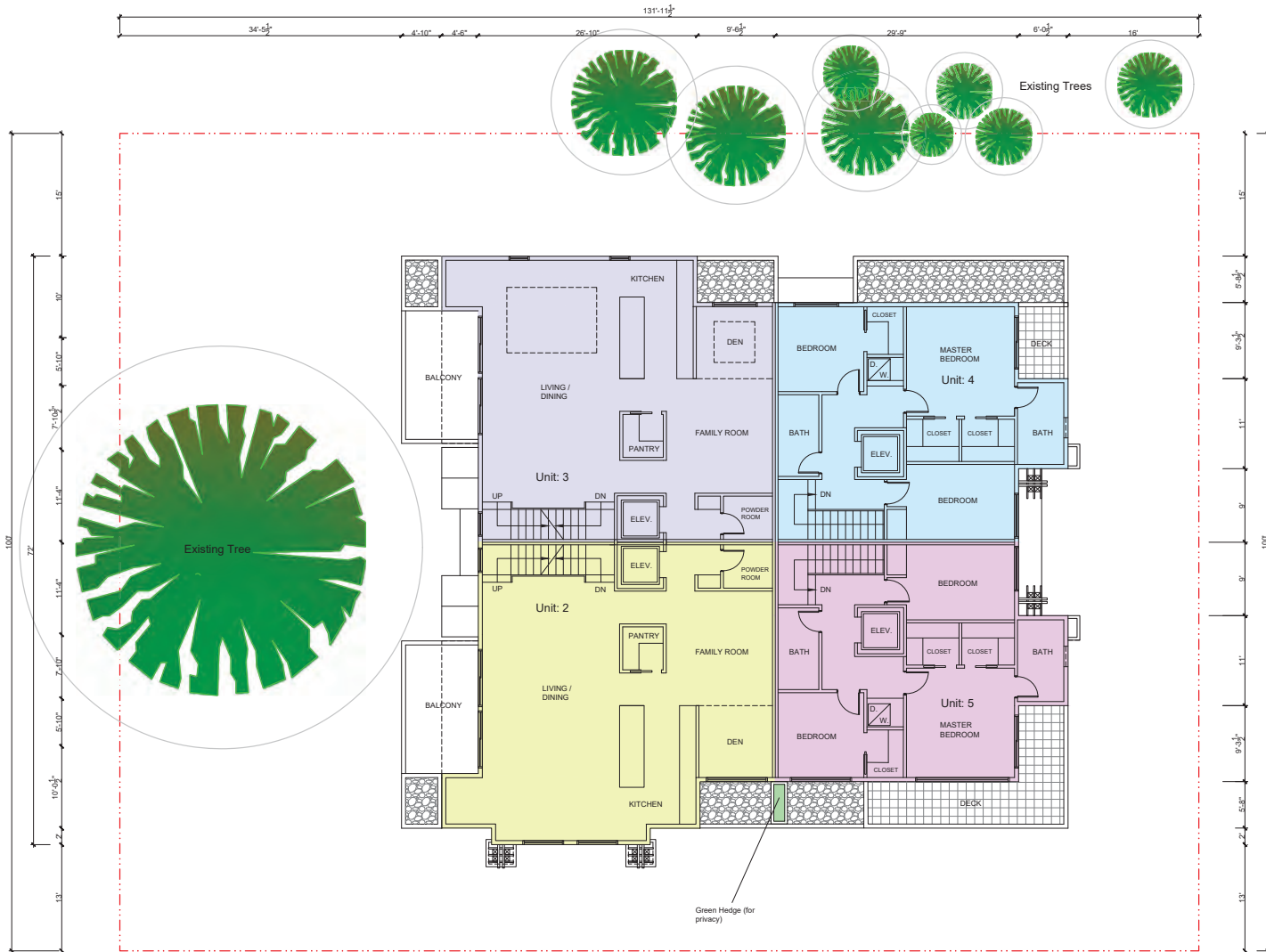
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1	May -2020	CONCEPTUAL DESIGN

PROJECT TITLE:
**2905 Marine Drive
West Vancouver**

DRAWING TITLE:
FIRST FLOOR PLAN

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	May 2020	SHEET NO.:	A-2.2
SCALE:	NTS		
DESIGN:	F.A. - P.P.		
DRAWN:	P.P.		
PROJECT NO.:	2002		



 **SECOND FLOOR PLAN**



F. ADAB ARCHITECTS INC.

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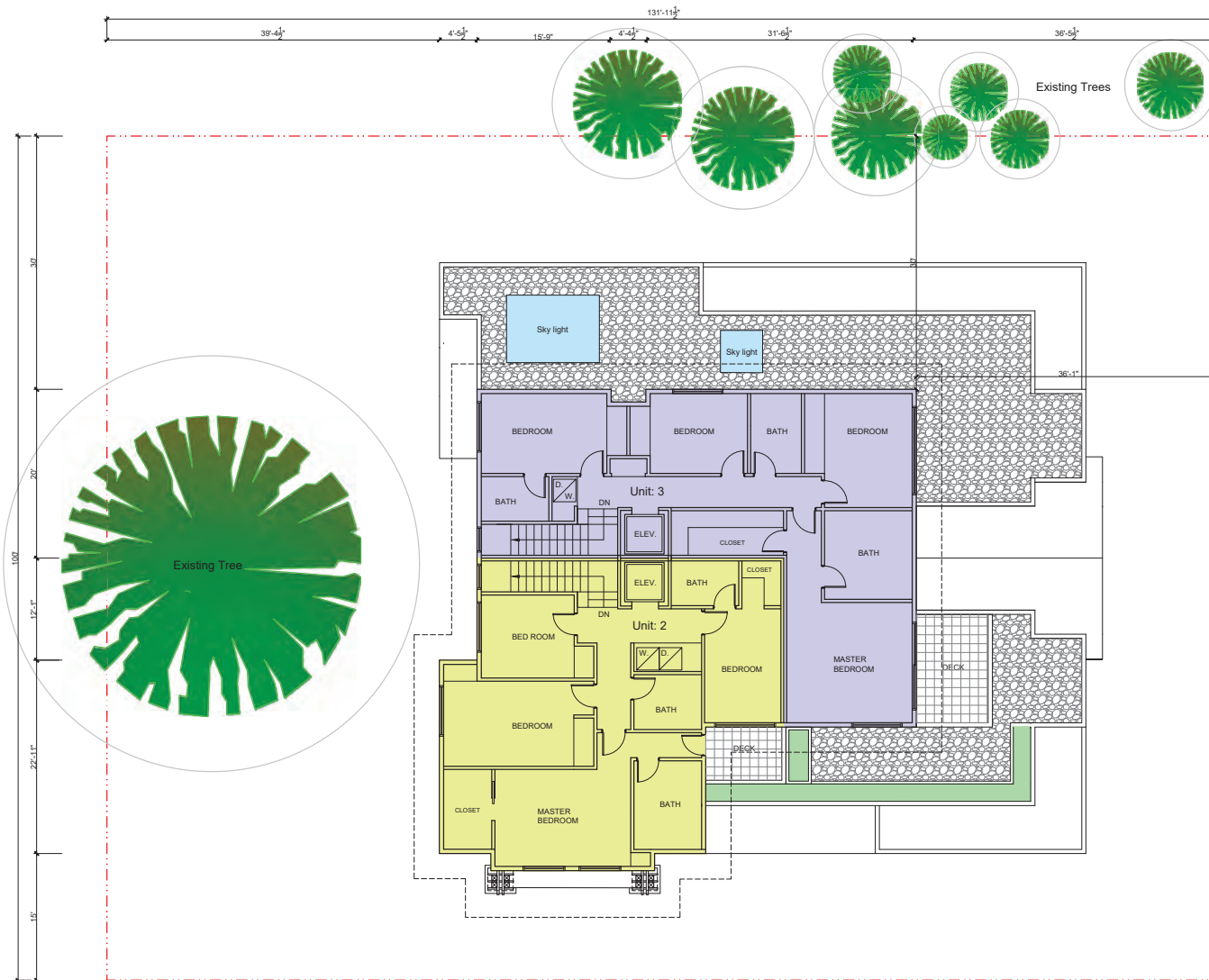
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1	May -2020	CONCEPTUAL DESIGN

PROJECT TITLE:
**2905 Marine Drive
West Vancouver**

DRAWING TITLE:
SECOND FLOOR PLAN

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	May 2020	SHEET NO.:	
SCALE:	NTS	A-2.3	
DESIGN:	F.A. - P.P.		
DRAWN:	P.P.		
PROJECT NO.:	2002		



 **THIRD FLOOR PLAN**



**F. ADAB
ARCHITECTS
INC.**

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1	May -2020	CONCEPTUAL DESIGN

PROJECT TITLE:
**2905 Marine Drive
West Vancouver**

DRAWING TITLE:
THIRD FLOOR PLAN

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	May 2020	SHEET NO.:
SCALE:	NTS	A-2.4
DESIGN:	F.A. - P.P.	
DRAWN:	P.P.	
PROJECT NO.:	2002	



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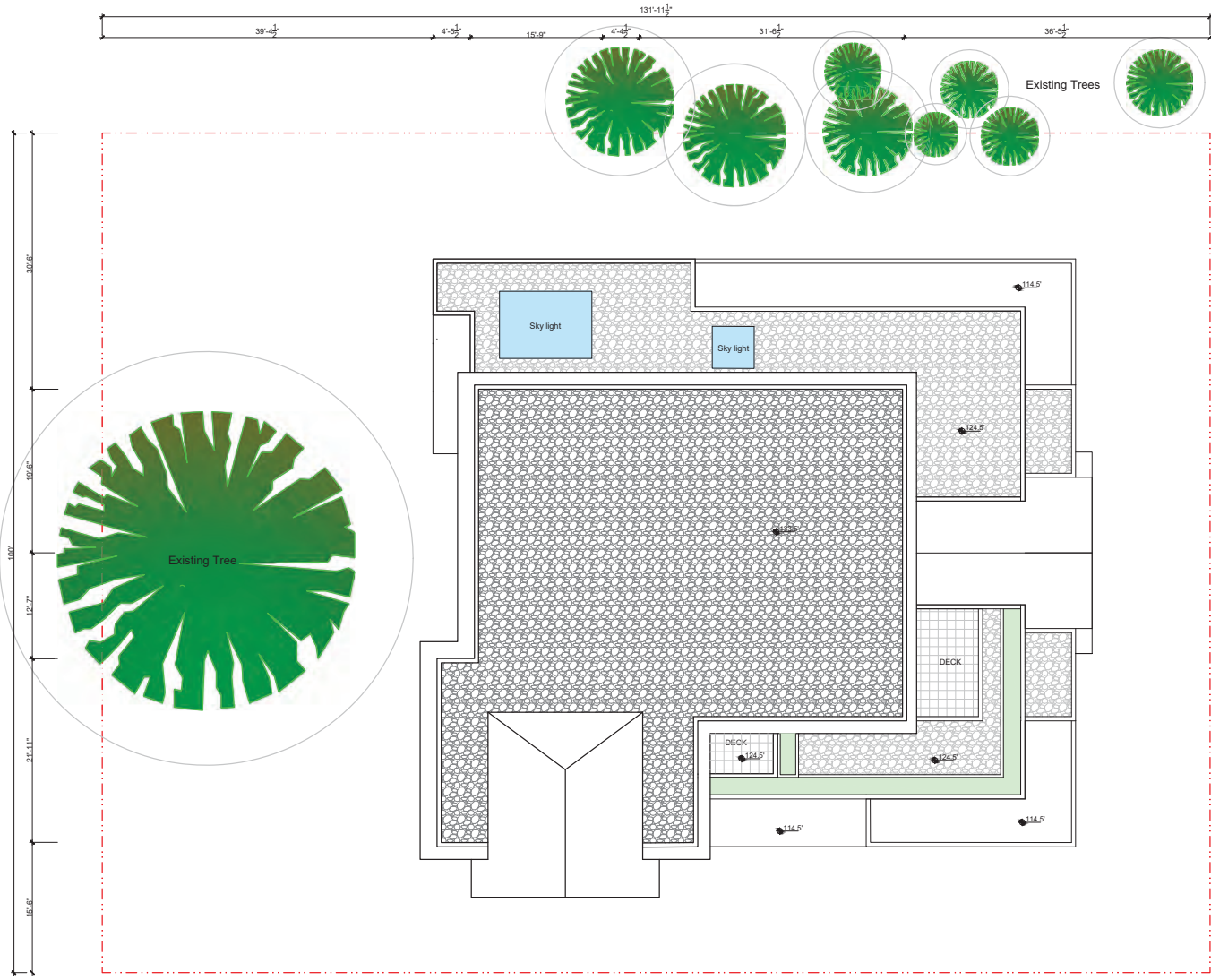
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1	May -2020	CONCEPTUAL DESIGN

PROJECT TITLE:
**2905 Marine Drive
 West Vancouver**

DRAWING TITLE:
ROOF PLAN

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	May 2020	SHEET NO.:	A-2.5
SCALE:	NTS		
DESIGN:	F.A. - P.P.		
DRAWN:	P.P.		
PROJECT NO.:	2002		



ROOF PLAN



F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
 NORTH VANCOUVER, BC V7P 3R4
 TEL: (604) 987-3003 FAX: (604) 987-3033
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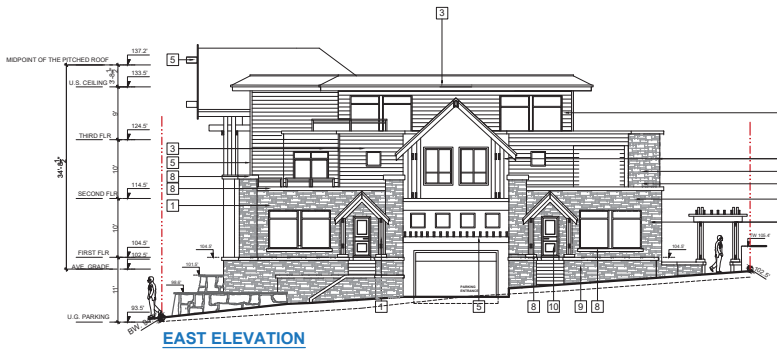
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PROJECT TITLE:
**2905 Marine Drive
 West Vancouver**

DRAWING TITLE:
ELEVATIONS

Designed by:
Pooyan Poostchi (M.Arch)

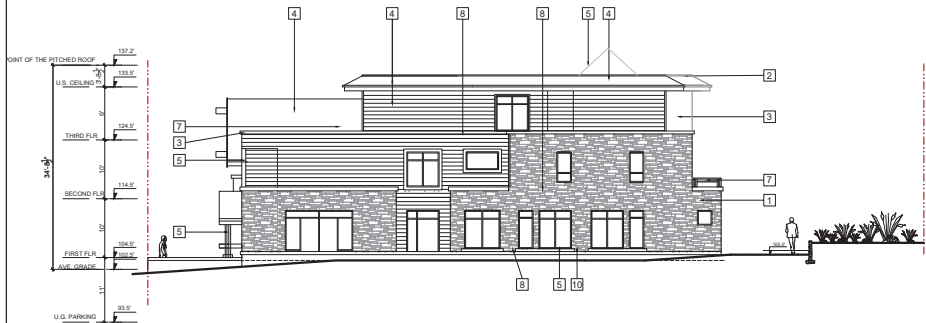
DATE:	May 2020	SHEET NO.:	
SCALE:	NTS		
DESIGN:	F.A. - P.P		A-3.1
DRAWN:	P.P.		
PROJECT NO.:	2002		



EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



F. ADAB ARCHITECTS INC.

#130-1000 ROOSEVELT CRESCENT
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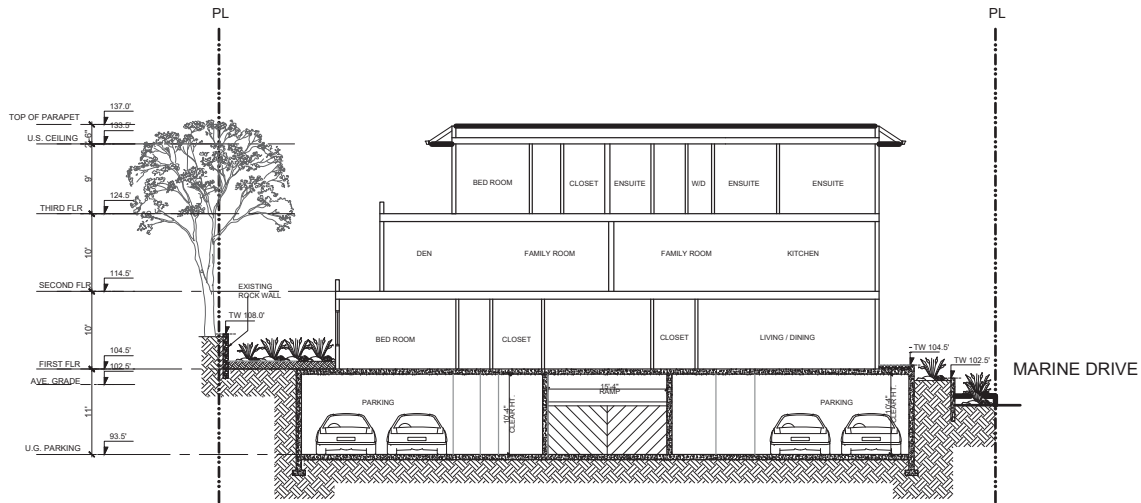
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PROJECT TITLE:
**2905 Marine Drive
 West Vancouver**

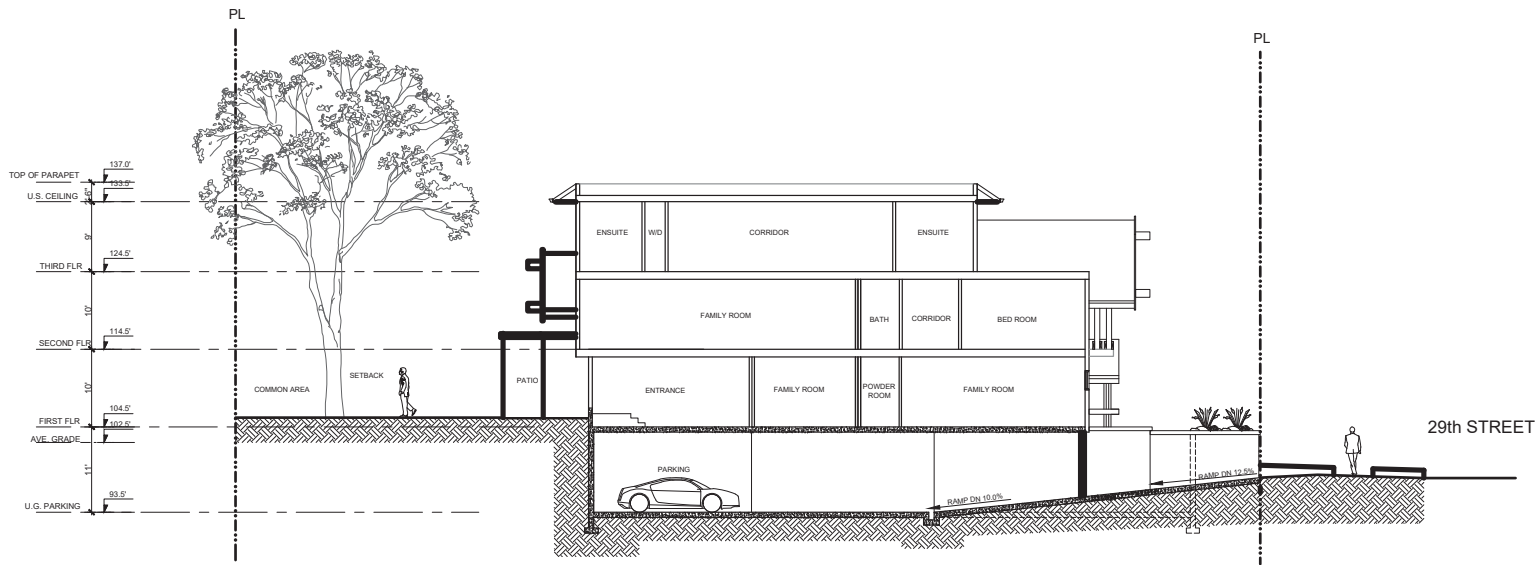
DRAWING TITLE:
SECTIONS

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	May 2020	SHEET NO.:	
SCALE:	NTS		
DESIGN:	F.A. - P.P.		A-4.1
DRAWN:	P.P.		
PROJECT NO.:	2002		



SECTION A-A



SECTION B-B



F. ADAB ARCHITECTS INC.

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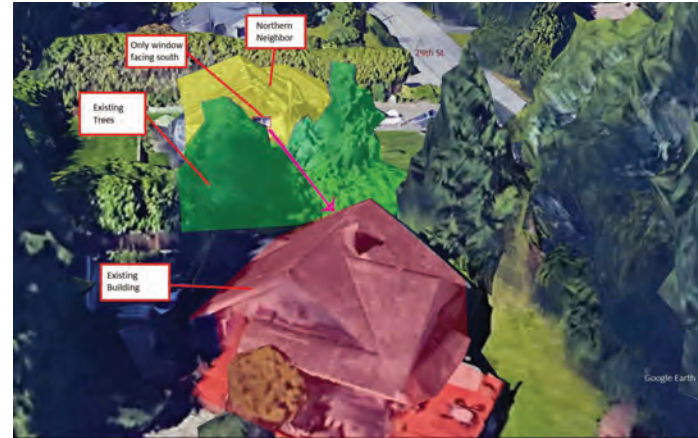
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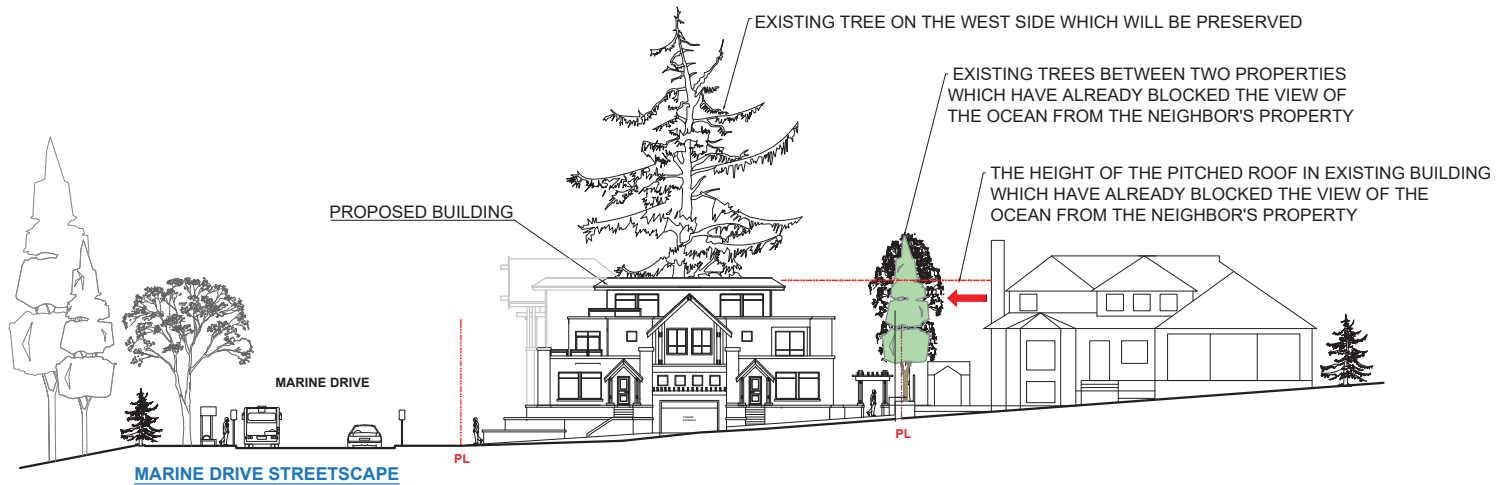
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VIEW ANALYSIS OF CURRENT CONDITION



VIEW ANALYSIS OF CURRENT CONDITION



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PROJECT TITLE:
2905 Marine Drive West Vancouver

DRAWING TITLE:
VIEW ANALYSIS CURRENT SITUATION

Designed by:
Pooyan Poostchi (M.Arch)

DATE: May 2020	SHEET NO.:
SCALE: NTS	A-5.1
DESIGN: F.A. - P.P.	
DRAWN: P.P.	
PROJECT NO: 2002	



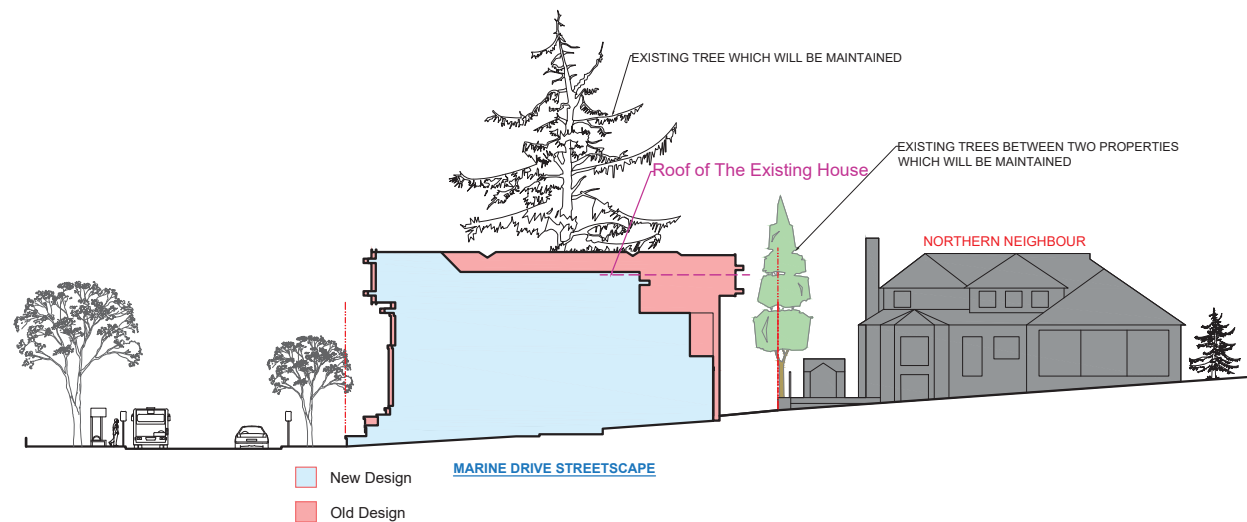
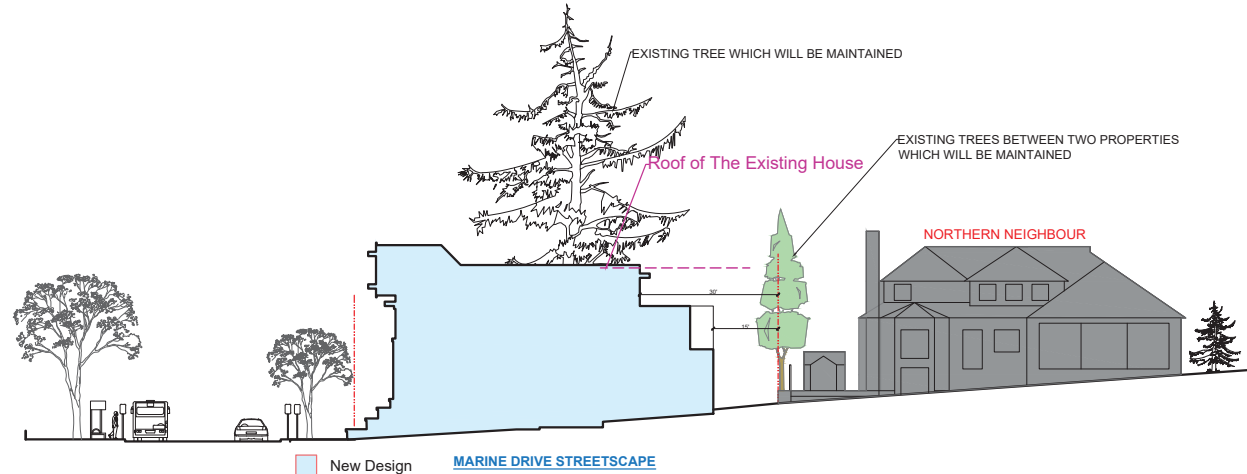
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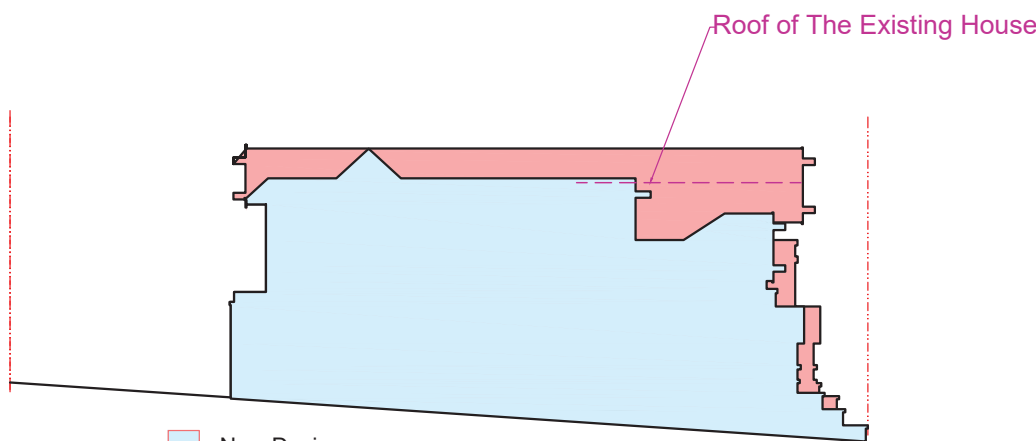
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1	May -2020	CONCEPTUAL DESIGN

PROJECT TITLE:
**2905 Marine Drive
 West Vancouver**

DRAWING TITLE:
 STREET SCAPE COMPARISON
 (OLD AND NEW PROPOSAL)

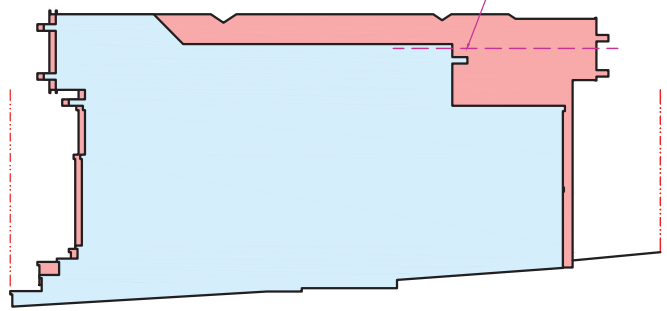
Designed by:
Pooyan Poostchi (M.Arch)

DATE: May 2020	SHEET NO:
SCALE: NTS	A-5.2
DESIGN: F.A. - P.P.	
DRAWN: P.P.	
PROJECT NO: 2002	



New Design
 Old Design

SOUTH ELEVATION



New Design
 Old Design

EAST ELEVATION



F. ADAB ARCHITECTS INC.

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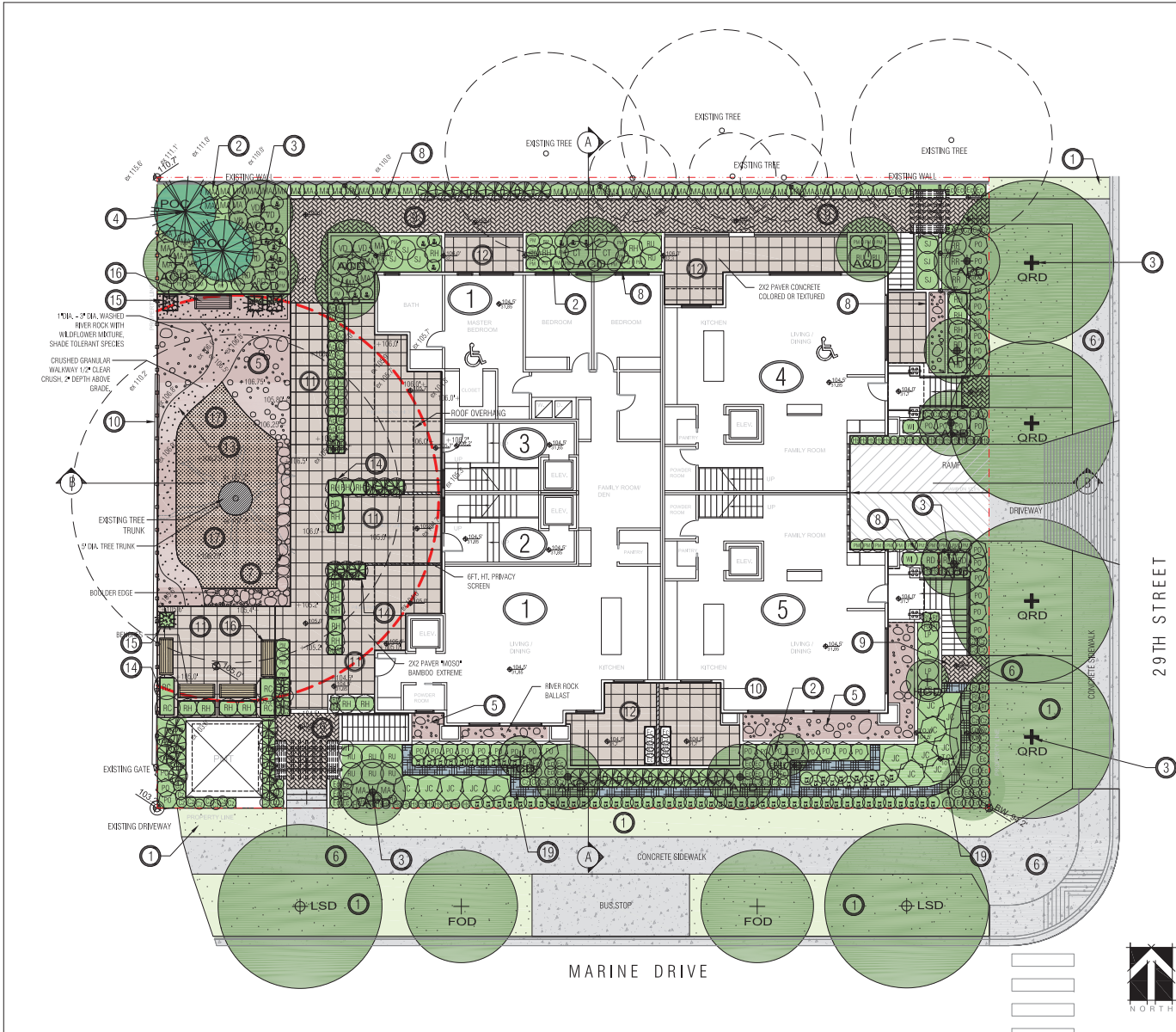
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PROJECT TITLE:
**2905 Marine Drive
 West Vancouver**

DRAWING TITLE:
 MASSING COMPARISON
 OLD AND NEW PROPOSAL

Designed by:
Pooyan Poostchi (M.Arch)

DATE:	May 2020	SHEET NO.:	A-5.3
SCALE:	NTS		
DESIGN:	F.A. - P.P.		
DRAWN:	P.P.		
PROJECT NO.:	2002		



1 SITE PLAN - LANDSCAPE
SCALE: 1/8" = 1'-0"

NOTES:

- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BONTA OR BCSLA GUIDELINES.
- REFER TO ARBORIST REPORT AND DRAWINGS PREPARED BY ACER TREE SERVICES FOR ALL RELATED TREE REMOVAL AND TREE RETENTION REQUIREMENTS.
- TOPSOIL, SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTORS EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
- AMMENDED TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
- TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
A. GRASSED AREAS: 450MM
B. GROUND COVERS: 450MM
C. SHRUBS: 450MM
D. TREE PITS: 100CM METERS PER TREE FT - ALSO SEE LANDSCAPE DRAWING L-8 (SOIL VOLUMES)
- LAWN AREAS SHALL BE SOODED WITH #1 PREMIUM RESIDENTIAL SOD. NON NETTED.
- ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 1"± O.C.
- 2" DEPTH OF 4" MINIMUM COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
- IRRIGATION SYSTEM - (AUTOMATIC) SHALL BE DESIGN BUILT TO BE COORDINATED BY GENERAL CONTRACTOR.
- ROCK AND BOULDER MATERIALS
ALL BOULDERS SHALL BE SMOOTH FINISH SOURCED FROM FIBER OR FIELD. DO NOT SUPPLY STRAIGHT OR SPLIT FACED STONE. THEY WILL BE REJECTED. PROVIDE PICS PHOTO OF STONE TO LANDSCAPE ARCHITECT FOR APPROVAL. BOULDERS TO BE EMBEDDED INTO GRADE DO NOT REST ON SURFACE.
SIZES: A: 2'-0" TO 4'-0" DIAMETER
B: 2'-0" TO 2'-6" DIAMETER
C: 1'-6" TO 2'-0" DIAMETER (REFER TO THE KEYS SHOWN ON LANDSCAPE PLAN)
- PAVING TYPES AND MATERIALS AS FOLLOWS:
- OFF SITE SIDEWALKS, CAST IN PLACE CONCRETE W/BROOM FINISH. INSTALL SAW CUT CONTROL JOINT EVERY 8'. ISOLATION JOINT EVERY 20'.
- DRIVEWAY ENTRANCES: PERMEABLE UNIT PAVERS AND STANDARD CONCRETE PAVING WITH BROOM FINISH NO TROVELED EDGES.
- ON SITE, COURTYARDS AND PRIVATE PATIOS: 2X2" COMPOSITE OR PIPE WOOD PAVEMENT SYSTEM. PERMEABLE PAVING. INSTALL OVER 3" LAYER OF 1/2" WASHED CLEAR CRUSH BASE COURSE.
- BENCHES: MAGNOLIA - 870 SERIES BACKED BENCH - LEGACY #ML 1870 - 80" LONG, IPE WOOD, ALL METAL COMPONENTS TO BE POWDER COATED WITH STANDARD COLOR GUN METAL. C/W PERMANENT ANCHOR SYSTEM.
- SITE GRADING: REFER TO ARCHITECTURAL AND CML ENGINEERING DWGS FOR SITE GRADING OF ROADS, AND RETAINING WALLS. AREA DRAINS AND SUB-SURFACE PIPING TO BE COORDINATED WITH CIVIL GRADING FOR ALL LANDSCAPED AREAS TO ENSURE POSITIVE DRAINAGE. NO POONDING OF STORM WATER ALLOWED ON SITE.
- STORM WATER MANAGEMENT BY CIVIL ENGINEERING.

PLANT LIST:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
ACD	6	ACER CERNICUM	VINE MAPLE	2.75M HT.	B & B
APD	7	ACER PALMATUM	JAPANESE MAPLE	2.75M HT.	B & B
FOD	2	FRAXINUS OXYCARPA RAYWOOD	BROWN WEDDINGBELL	6.0M CAL.	B & B
HCD	4	HIBISCUS COELESTIS	SHRUBBY ALTHEA	2.5 M HT.	B & B
POC	2	PICEA OMORICA	SERBIAN SPRUCE	2.75 M HT.	B & B
LSD	2	LEUCODAPHNE STYRACIFLUA	AMERICAN SWEETGUM	6.0M CAL.	B & B
QRD	4	QUERCUS RUBRA	RED OAK	6 CM CAL.	B & B
TDC	35	THUJA OCCIDENTALIS SMARAGD	EMERALD GREEN CEDAR	1.75 M HT.	B & B
CT	2	CHAMAETRAKIA	MEXICAN MOCK ORANGE	#3	CONTAINER
HM	4	HELIOSIA MICHA, VAR. DIV. PALACE PURPLE	CORAL BELLS	#1	CONTAINER
HU	16	HOSTA UNULATA MELOD-VAR.	HOSTA UNULATA MELOD-VAR.	#1	CONTAINER
JC	13	JUNIPERUS CHINENSIS MINT JULIP	SEA GREEN JUNIPER	#3	CONTAINER
LP	4	LONICERA FLEATA	PINKET HONEY-SUCKLE	#3	CONTAINER
MA	55	MAHONIA AQUIFOLIUM	OREGON GRAPE	#3	CONTAINER
LA	91	LAVANDULA ANGSTIFOLIA	ENGLISH LAVENDER	#1	CONTAINER
PRUNUS	39	PRUNUS	OTTO LYNNEN ALBES	#3	CONTAINER
PM	59	POLYSTICHUM MUNITES	WESTERN SWORD FERN	#3	CONTAINER
RC	4	RHOODOENDRON CHEER	CHEER RHODO.	#3	CONTAINER
RHO	9	RHOODOENDRON DORON ANTHEA	DORON ANTHEA RHODO.	#3	CONTAINER
RH	24	RHOODOENDRON HACHIMANN'S FANTASTICA	FANTASTIC RHOODOENDRON	#3	CONTAINER
RU	10	RHOODOENDRON UNIQUE	UNIQUE RHODO.	#3	CONTAINER
SJ	6	SIBIRICA JAPONICA REVEERIANA	JAPANESE SHRIMP	#3	CONTAINER
VD	8	VIOLINIUM DAVIDI	DAVID'S VIOLINIUM	#3	CONTAINER
AC	26	ASTILBE CHINENSIS 'VENUS'	ASTILBE	#1	CONTAINER
CZ	62	COROPUS VERTICILLATA JAGRES	JAGRES' TICKSEED	#1	CONTAINER
EC	49	ECHINACEA PURPUREA 'MAGNUS'	MAGNUS CONEFLOWER	#1	CONTAINER
HS	47	HEMEROCALLIS STELLA D'ORO	DAY LILY	#1	CONTAINER
RF	12	RUBICORON FULGIDA var 'GOLDSTRUM'	BLACK EYED SUSAN	#1	CONTAINER
WI	4	WESTERA F. OREGONIA	JAPANESE WESTERA VINE	#3	CONTAINER
LN	17	LYSIMACHIA NUMMULARIA	CREeping JENNY	10CM POT	CONTAINER

KEY:

- 1 LAWN - OPEN SPACE
- 2 PLANTING BED
- 3 PROPOSED DECIDUOUS TREE
- 4 PROPOSED CONIFEROUS TREE
- 5 DECORATIVE RIVER ROCK BED
- 6 CONCRETE PAVING BROOM FINISH
- 7 ROCK/BOULDER BARRIER
- 8 RAISED CONC. PLANTER WALL
- 9 UNIT PAVERS - PERMEABLE
- 10 6' HT. WOOD FENCE/SCREEN
- 11 2' X 2' MOSO WOOD PAVING BAMBOO X-TREME
- 12 2' X 2' CONCRETE UNIT PAVERS W/PEDESTALS
- 13 GRANULAR WALKWAY 3" W/ CRUSHED GRANITE 1 1/4" DIA.
- 14 METAL PLANTER ALUM. OR GALVANIZED STEEL
- 15 DECORATIVE SQ. POT
- 16 BENCH
- 17 BARK MULCH BELOW TREE
- 19 DECORATIVE STONE WALL

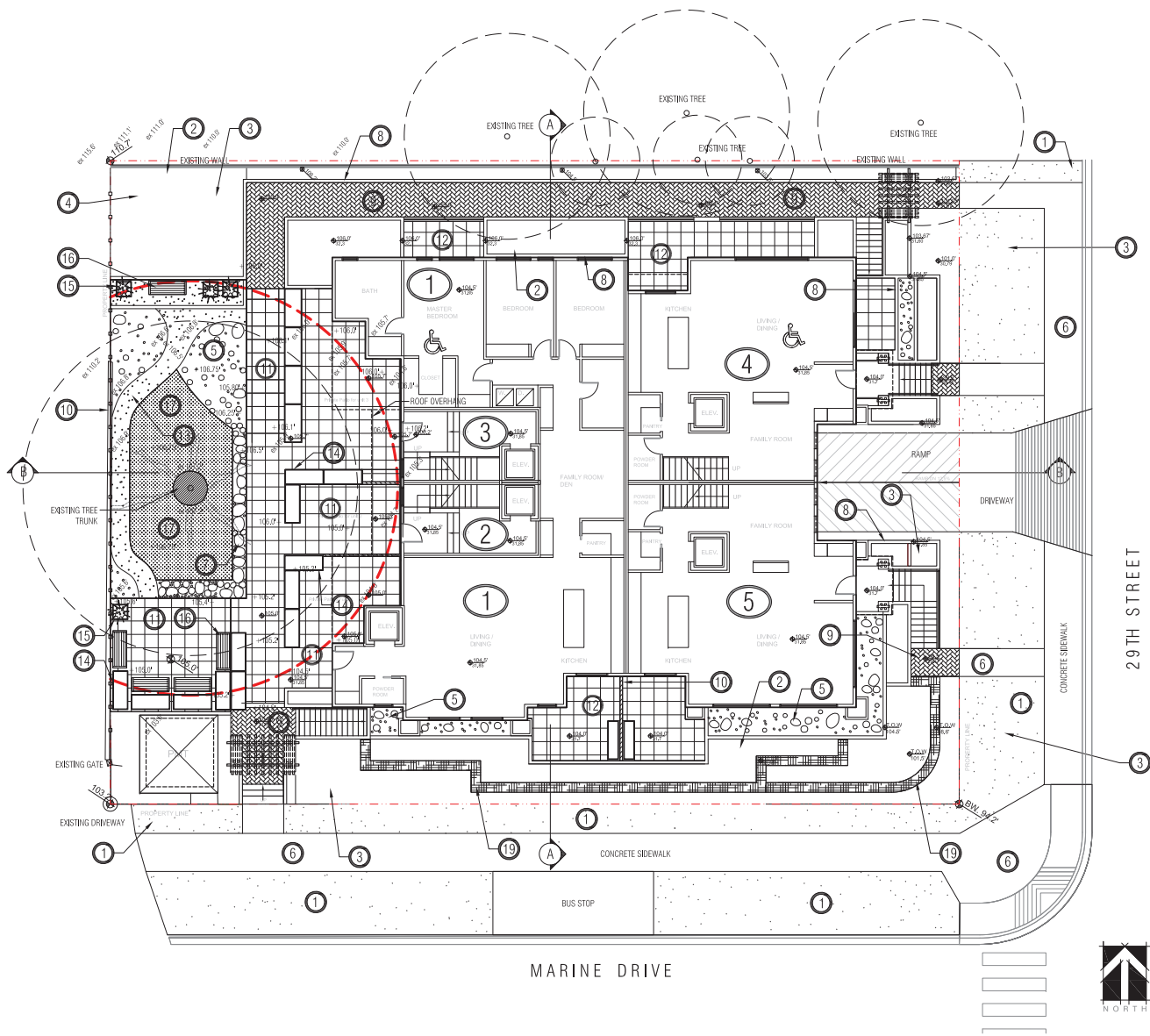
REVISIONS ISSUED
1. 11/20/2024 - REVISED PER COMMENTS
2. 11/20/2024 - REVISED PER COMMENTS
3. 11/20/2024 - REVISED PER COMMENTS

PROJECT
MULTI UNIT RESIDENTIAL DEVELOPMENT
2905 MARINE DRIVE, WEST VANCOUVER, B.C.
DEVELOPER: GOLDEN HIVE HOMES
ARCHITECT: J. AOB ARCHITECTS INC.
ADDRESS: 2905 MARINE DRIVE, WEST VANCOUVER, B.C. V8M 2K6
PHONE: (604) 273-1111 FAX: (604) 273-1112
WWW.JAOBARCHITECTS.COM



DATE: NOV. 28, 2024
DESIGN: JC, MM
DRAWN: MM
CHECKED: MM
SCALE: AS SHOWN
JOB NO.: MTR02

SHEET TITLE
LANDSCAPE PLAN
LEVEL 1
SHEET NO.
L-1



KEY:

- | | | | |
|---|------------------------------|----|---|
| 1 | LAWN - OPEN SPACE | 10 | 6"HT. WOOD FENCE/SCREEN |
| 2 | PLANTING BED | 11 | 2" X 2" MOSS WOOD PAVING BAMBOO X-TREME |
| 3 | PROPOSED DECIDUOUS TREE | 12 | 2" X 2" CONCRETE UNIT PAVERS W/PEDESTALS |
| 4 | PROPOSED CONIFEROUS TREE | 13 | GRANULAR WALKWAY 3" IN. CRUSHED GRANITE 1/4" O.S.A. |
| 5 | DECORATIVE RIVER ROCK BED | 14 | METAL PLANTER ALUM. OR GALVANIZED STEEL |
| 6 | CONCRETE PAVING BROOM FINISH | 15 | DECORATIVE SQ. POT |
| 7 | ROCKBOULDER BARRIER | 16 | BENCH |
| 8 | RAISED CONC. PLANTER WALL | 17 | BARK MULCH BELOW TREE |
| 9 | UNIT PAVERS - PERMEABLE | 19 | DECORATIVE STONE WALL |

1 GENERAL LANDSCAPE SITE PLAN
SCALE: 1/8" = 1'-0"

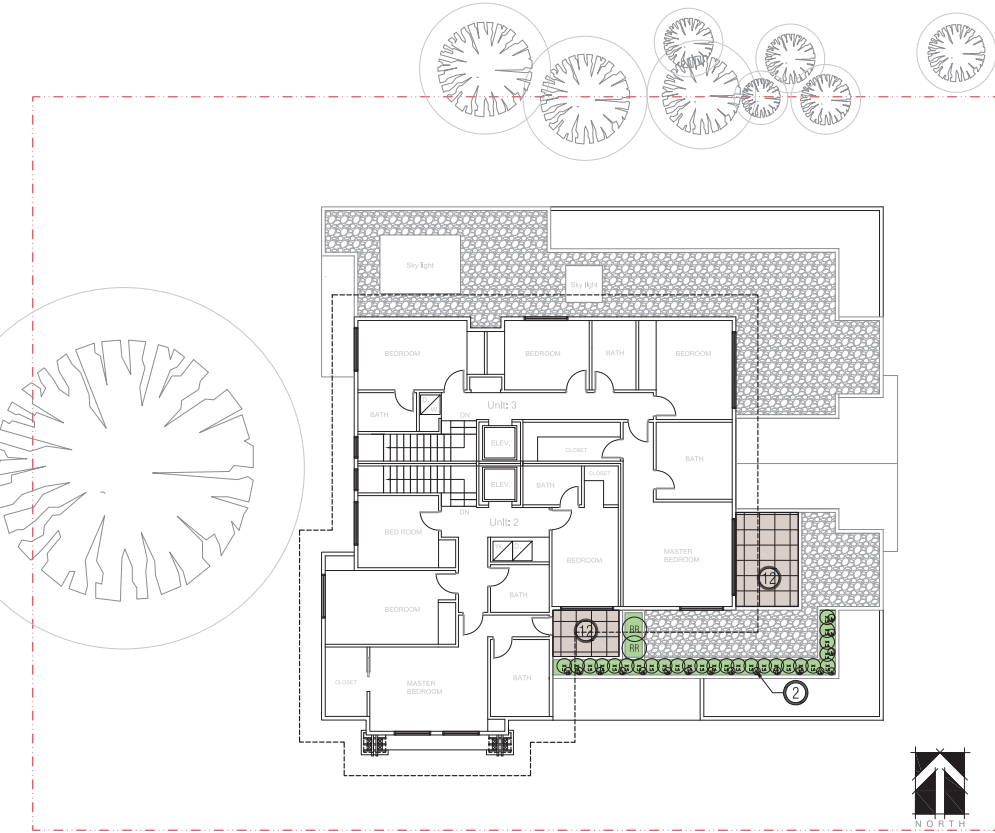
REVISIONS ISSUED
1. 11/20/2018 - REVISED PER COMMENTS
2. 11/20/2018 - REVISED PER COMMENTS
3. 11/20/2018 - REVISED PER COMMENTS

PROJECT
MULTI UNIT RESIDENTIAL DEVELOPMENT
2905 MARINE DRIVE, WEST VANCOUVER, B.C.
DEVELOPER: GOLDEN LINE HOMES
ARCHITECTS: J. ADAM ARCHITECTS INC.
LANDSCAPE ARCHITECTS: MARYAMA LANDSCAPE ARCHITECTS



DATE: NOV. 28, 2018
DESIGN: J.E. HIRM
DRAWN: HIRM
CHECKED: HIRM
SCALE: AS SHOWN
JOB NO.: M1960

SHEET TITLE
GENERAL LANDSCAPE LEVEL 1
SHEET NO.
L-2



1 THIRD FLOOR - LANDSCAPE
SCALE: 1/8" = 1'-0"

NOTES:

- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCNTA OR BCSLA GUIDELINES.
- REFER TO ARBORIST REPORT AND DRAWINGS PREPARED BY ACER TREE SERVICES FOR ALL RELATED TREE REMOVAL AND TREE RETENTION REQUIREMENTS.
- TOPSOIL, SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTORS EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
- AMENDED TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
- TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - GRASSED AREAS: 450MM
 - GROUND COVERS: 450MM
 - SHRUBS: 450MM
 - TREE PITS: 100CM METERS PER TREE FT - ALSO SEE LANDSCAPE DRAWING L-8 (SOIL VOLUMES)
- LAWN AREAS SHALL BE SOODED WITH #1 PREMIUM RESIDENTIAL SOD. NON NETTED.
- ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 1" x 0.5".
- 2" DEPTH OF 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
- IRRIGATION SYSTEM - (AUTOMATIC) SHALL BE DESIGN BUILT TO BE COORDINATED BY GENERAL CONTRACTOR.
- ROCK AND BOULDER MATERIALS
 - ALL BOULDERS SHALL BE SMOOTH FINISH SOURCED FROM FIBER OR FIELD. DO NOT SUPPLY STRAIGHT OR SPLIT FACED STONE. THEY WILL BE REJECTED. PROVIDE PICS PHOTO OF STONE TO LANDSCAPE ARCHITECT FOR APPROVAL. BOULDERS TO BE EMBEDDED INTO GRADE DO NOT REST ON SURFACE.
 - SIZES: A: 2'-0" TO 4'-0" DIAMETER
 - B: 2'-0" TO 2'-6" DIAMETER
 - C: 1'-6" TO 2'-0" DIAMETER (REFER TO THE KEYS SHOWN ON LANDSCAPE PLAN)
- PAVING TYPES AND MATERIALS AS FOLLOWS:
 - OFF SITE SIDEWALKS, CAST IN PLACE CONCRETE W/BROOM FINISH. INSTALL SAW CUT CONTROL JOINT EVERY 8'. ISOLATION JOINT EVERY 26'.
 - DRIVEWAY ENTRANCES: PERMEABLE UNIT PAVERS AND STANDARD CONCRETE PAVING WITH BROOM FINISH NO TROVELED EDGES.
 - ON SITE COURTYARDS AND PRIVATE PATIOS: 2X2" COMPOSITE OR IPE WOOD PAVES SYSTEM. PERMEABLE PAVING. INSTALL OVER 3" LAYER OF 1/2" WASHED CLEAR CRUSH BASE COURSE.
- BENCHES: MAGLIN - 870 SERIES BACKED BENCH - LEGACY #ML 1870 - 60" L X 18" W. IPE WOOD. ALL METAL COMPONENTS TO BE POWDER COATED WITH STANDARD COLOR GUN METAL. C/W PERMANENT ANCHOR SYSTEM.
- SITE GRADING: REFER TO ARCHITECTURAL AND CML ENGINEERING DWGS FOR SITE GRADING OF ROADS, AND RETAINING WALLS. AREA DRAINS AND SUB-SURFACE PIPING TO BE COORDINATED WITH CIVIL GRADING FOR ALL LANDSCAPED AREAS TO ENSURE POSITIVE DRAINAGE. NO PONDING OF STORM WATER ALLOWED ON SITE.
- STORM WATER MANAGEMENT BY CIVIL ENGINEERING.

PLANT LIST:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
ACD	6	ACER CERNATUM	VINE MAPLE	2.75M HT.	B & B
APD	7	ACER PALMATUM	JAPANESE MAPLE	2.75M HT.	B & B
FOD	2	FRAXINUS OXYCARPA RAYWOOD	BURNING BURNING MAPLE	6 CM CAL.	B & B
HCD	4	HIERACIUM COELESTIS	SHRUBBY ALTHEA	2.5 M HT.	B & B
POC	2	PICEA OMOIKAWA	SERBIAN SPRUCE	2.75 M HT.	B & B
LSO	2	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	6 CM CAL.	B & B
QRD	4	QUERCUS RUBRA	RED OAK	6 CM CAL.	B & B
TDC	35	THUJA OCCIDENTALIS SMARAGD	EMERALD GREEN CEDAR	1.75 M HT.	B & B
CT	2	CHOSTA TERRENTIA	MEXICAN MONK GRASS	#3	CONTAINER
HM	4	HEUCHERA MICHA. VAR. DIV. 'PALACE PURPLE'	CORAL BELLS	#1	CONTAINER
HU	16	HOSTA UNDULATA MEDIO-VAR.	HOSTA UNDULATA MEDIO-VAR.	#1	CONTAINER
JC	13	JUNIPERUS CHINENSIS MINT JULEP	SEA GREEN JUNIPER	#3	CONTAINER
LP	4	LONICERA FLEATA	FRINT HONEY SUCKLE	#3	CONTAINER
MA	55	MAHONIA AQUIFOLIUM	OREGON GRAPE	#3	CONTAINER
LA	91	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	#1	CONTAINER
PO	39	PRUNUS L. OTTO LINDENS	OTTO LINDEN LAUREL	#3	CONTAINER
PM	59	POLYSTICHUM MUNITEM	WESTERN SWORD FERN	#3	CONTAINER
RC	4	RHOODOENDRON CHEER	CHEER RHODO.	#3	CONTAINER
RH	9	RHOODOENDRON DORON ANIETES	DORON ANIETES RHODO.	#3	CONTAINER
RH	24	RHOODOENDRON HACHIMANN'S FANTASTICA	FANTASTIC RHOODOENDRON	#3	CONTAINER
RU	10	RHOODOENDRON UNIQUE	UNIQUE RHODO.	#3	CONTAINER
SJ	6	SIBIRICA JAPONICA REVESSANA	JAPANESE SHIMADA	#3	CONTAINER
VD	8	VIURNUM DAVIDI	DAVID'S VIURNUM	#3	CONTAINER
AC	26	ASTILBE CHINENSIS 'VERONIS'	ASTILBE	#1	CONTAINER
CZ	62	COROPHOS VERTICILLATA JAGRES	JAGRES' TIKSEED	#1	CONTAINER
EC	49	ECHINACEA PURPUREA 'MAGNUS'	MAGNUS CONEFLOWER	#1	CONTAINER
HS	47	HEMEROCALLIS STELLA D'ORO	DAY LILY	#1	CONTAINER
RF	12	RUBICORON FULGIDA var 'GOLDSTRUM'	BLACK EYED SUSAN	#1	CONTAINER
WI	4	WESTERA FLORIBUNDA	JAPANESE WESTERA VINE	#3	CONTAINER
LN	17	LYSIMACHIA NUMMULARIA	CREeping JENNY	10CM POT	CONTAINER

KEY:

- | | |
|--------------------------------|--|
| ① LAWN - OPEN SPACE | ⑩ 8' HT. WOOD FENCE/SCREEN |
| ② PLANTING BED | ⑪ 2' X 2' MOSO WOOD PAVING BAMBOO X-TREME |
| ③ PROPOSED DECIDUOUS TREE | ⑫ 2' X 2' CONCRETE UNIT PAVERS W/PEDESTALS |
| ④ PROPOSED CONIFEROUS TREE | ⑬ GRANULAR WALKWAY 3" W/ CRUSHED GRANITE 1/4" DIA. |
| ⑤ DECORATIVE RIVER ROCK BED | ⑭ METAL PLANTER ALUM. OR GALVANIZED STEEL |
| ⑥ CONCRETE PAVING BROOM FINISH | ⑮ DECORATIVE SQ. POT |
| ⑦ ROCK/BOULDER BARRIER | ⑯ BENCH |
| ⑧ RAISED CONC. PLANTER WALL | ⑰ BARK MULCH BELOW TREE |
| ⑨ UNIT PAVERS - PERMEABLE | ⑱ DECORATIVE STONE WALL |

REVISIONS ISSUED
1. DATE: 11/15/2020
2. BY: JLM
3. FOR: CORRECTIONS - REVISIONS TO PLANTING LIST
4. FOR: CORRECTIONS - REVISIONS TO PLANTING LIST

PROJECT
MULTI UNIT RESIDENTIAL DEVELOPMENT
2905 MARINE DRIVE, WEST VANCOUVER, B.C.
DEVELOPER: GOLDEN LINE HOMES
ARCHITECT: ADOB ARCHITECTS INC.
LANDSCAPE ARCHITECT: MARYAMA LANDSCAPE ARCHITECTS

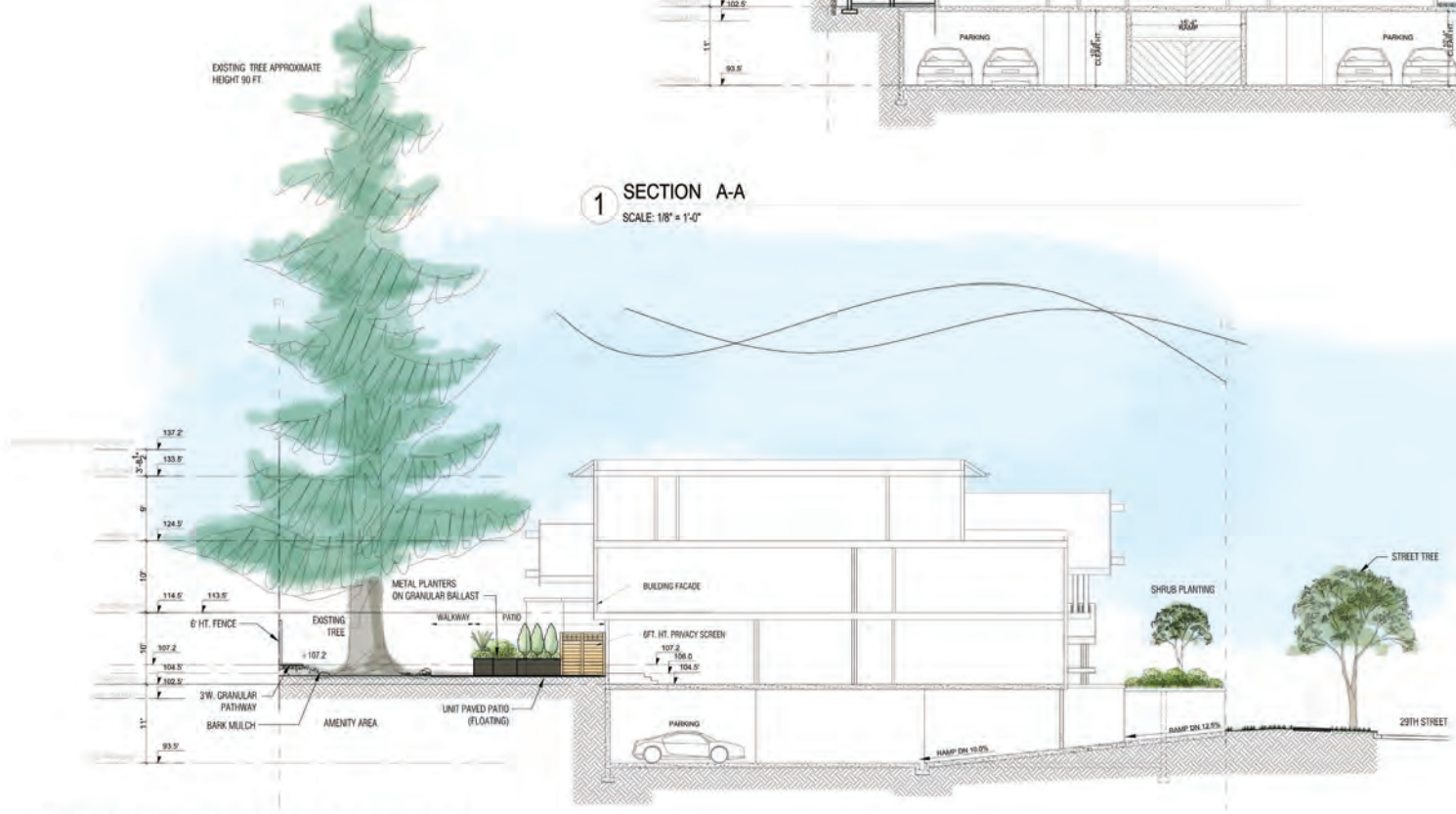


DATE: NOV. 28, 2020
DESIGN: JLM
DRAWN: JLM
CHECKED: JLM
SCALE: AS SHOWN
JOB NO.: M190

SHEET TITLE
LANDSCAPE PLAN
LEVEL 3
SHEET NO.
L-3



1 SECTION A-A
SCALE: 1/8" = 1'-0"



2 SECTION - BB WEST SIDE THROUGH TREE #18
SCALE: 1/8" = 1'-0"

REVISIONS ISSUED
1. 0.00 10/22/2024
2. 0.00 10/22/2024
3. 0.00 10/22/2024

PROJECT
MULTI UNIT RESIDENTIAL DEVELOPMENT
2905 MARINE DRIVE, WEST VANCOUVER, B.C.
DEVELOPER: GOLDEN LINE HOMES
ARCHITECT: J. ADAM ARCHITECTS INC.



DATE: JULY 26, 2024
DESIGN: J.A.
DRAWN: M.M.
CHECKED: M.M.
SCALE: 1/8" = 1'-0"
JOB NO.: 2024001

SHEET TITLE
LANDSCAPE SECTIONS
SHEET NO.
L-4

Acer Tree Services Ltd.
vancouverarborist@gmail.com
acertree@telus.net

Tree Management Plan

--- = TPB
 T = Tree #

See the tree protection procedures for the TPB measurements

Existing fence is acting as TPB.

TPB should not be encroaching with the neighbor's property lines.

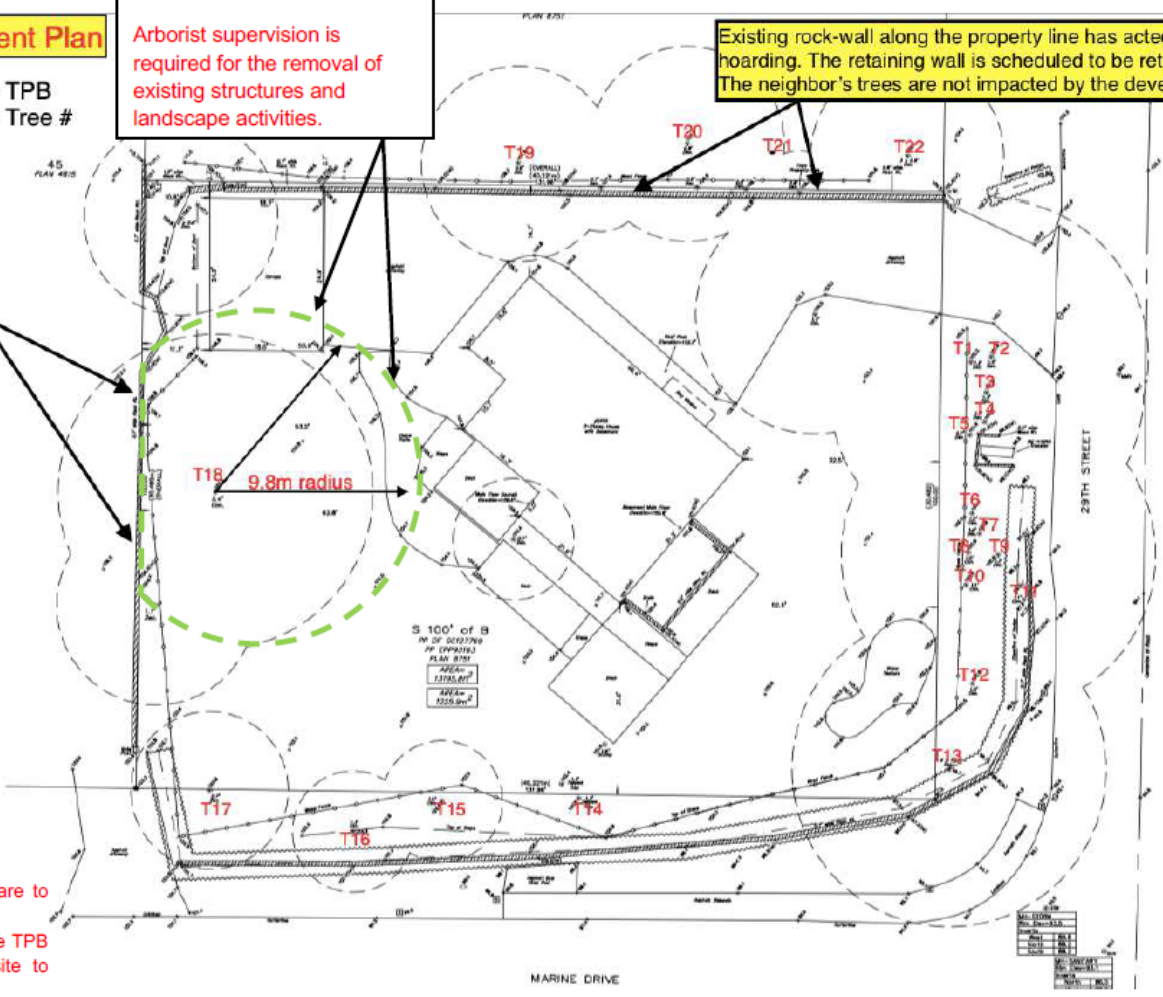
T1-T17 are scheduled to be removed

T18 is scheduled to be retained and protected

Tree # 18: TPB = 9.8m radius
 Arborist supervision is required for the removal of existing structures and landscape activities.

Existing rock-wall along the property line has acted as a hoarding. The retaining wall is scheduled to be retained. The neighbor's trees are not impacted by the development.

TPB must be approved by the district prior to the construction activities. A project arborist is required to supervise ground penetrating work within 1 meter from any tree protection barrier.



Notes

- No equipment or materials are to be stored inside the fencing.
- No groundbreaking inside the TPB unless the arborist is on site to supervise.
- The arborist MUST be called to supervise any excavation within 3ft of the TPB.

Arborist Report
 2905 Marine Drive DWV