



District of West Vancouver

**Official Community Plan Bylaw No. 4985, 2018,
Amendment Bylaw No. 5394, 2026**
(6085 & 6093 Marine Drive)

Effective Date:

Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5394, 2026

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District of West Vancouver

Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5394, 2026

A bylaw to amend the Official Community Plan to place a development site within a development permit area to regulate the form and character of the development.

Previous amendments: Amendment bylaws 5008, 5045, 5054, 5057, 5064, 5074, 5076, 5120, 5135, 5128, 5172, 5231, 5222, 5280, 5301, 5335, 5291, 5292, 5362, 5205, and 5355.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an amendment to the Official Community Plan to allow for the redevelopment of lands at 6085 and 6093 Marine Drive;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Official Community Plan Bylaw No. 4985, 2018, Amendment Bylaw No. 5394, 2026.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Amends Schedule ii Area-Specific Policies & Guidelines

- 3.1 Schedule ii Area-Specific Policies & Guidelines to Official Community Plan Bylaw No. 4985, 2018 is amended as follows:

- 3.1.1 Amending the “Ground-Oriented Infill Housing Development Permit Area Designation BF-B16” by adding a map to the section as illustrated in **Schedule A** attached to this bylaw.

Schedule

Schedule A – Development Permit Area Designation BF-B16 Ground-Oriented Infill Housing

READ A FIRST TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on
January 26, 2026

PUBLICATION OF NOTICE OF PUBLIC HEARING on February 11 and 18, 2026

PUBLIC HEARING HELD on February 23, 2026

READ A SECOND TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on [Date]

READ A THIRD TIME (MAJORITY VOTE IN THE AFFIRMATIVE) on [Date]

APPROVED by the Ministry of Transportation and Transit on [Date]

ADOPTED by the Council (MAJORITY VOTE IN THE AFFIRMATIVE) on [Date].

Mayor

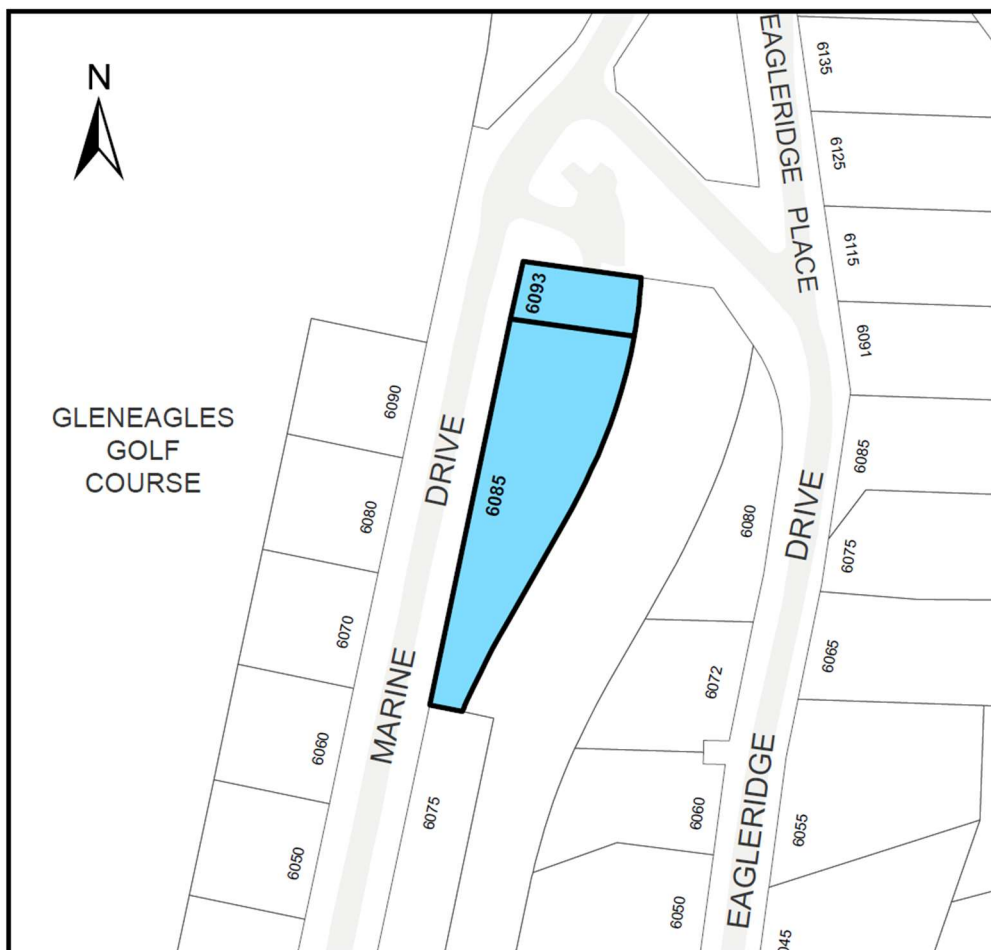
Corporate Officer

Schedule A – Development Permit Area Designation BF-B16 Ground-Oriented Infill Housing

Amendment to Official Community Plan Bylaw No. 4985, 2018, Schedule A, Schedule ii, Area-Specific Policies & Guidelines.

Policy BF-B16.1 is amended by deleting the section in its entirety and replacing it with the following: “The lots shown on maps BF-B16 may be considered for rezoning to enable ground-oriented infill housing types that may include single family dwellings, duplexes, townhouses, rowhouses and/or combinations thereof to address the missing middle.”

The area shown shaded on the map below is added as a designated area to Development Permit Area BF-B16 as the Ground-Oriented Infill Housing Development Permit Area Designation Maps BF-B16 and the existing map within the Maps BF-B16 is labelled “Lots C and D Daffodil Drive”:



6085 and 6093 Marine Drive

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District of West Vancouver

**Zoning Bylaw No. 4662, 2010,
Amendment Bylaw No. 5395, 2026**
(6085 & 6093 Marine Drive)

Effective Date:

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5395, 2026

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District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5395, 2026

A bylaw to rezone property at 6085 and 6093 Marine Drive for a housing development to address the missing middle.

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, 4767, 4787, 4788, 4784, 4772, 4791, 4805, 4809, 4828, 4854, 4873, 4866, 4895, 4839, 4898, 4927, 4944, 4905, 4974, 4967, 4982, 4962, 4928, 4992, 5001, 5021, 5024, 5009, 4938, 5044, 5055, 5051, 5068, 5065, 5087, 5069, 5110, 5106, 5132, 5161, 5155, 5160, 5013, 5122, 5155, 5169, 5192, 5175, 5171, 5201, 5230, 5081, 5223, 5270, 5281, 5321, 5328, 5338, 5336, 5351, 5293, 5347, 5339, 5206, 5361, 5356, 5353, 5279, 5380, 5379, 5254 and 5387.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an amendment to the Zoning Bylaw;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

- 1.1 This bylaw may be cited as Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5395, 2026.

Part 2 Severability

- 2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

Part 3 Adds the CD89 Zone & Rezones the Site

- 3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 600 (Comprehensive Development or site specific zones) is hereby amended by adding Section

689 as the CD89 – Comprehensive Development Zone 89 (6085 & 6093 Marine Drive), as set out in **Schedule A** attached to this bylaw.

- 3.2 The Lands shown shaded on the map attached as Schedule B to this bylaw are rezoned from RS4 – Single Family Dwelling Zone 4 to Comprehensive Development Zone 89 (6085 & 6093 Marine Drive), as set out in **Schedule A** attached to this bylaw.

Part 4 Amends the Table of Contents

- 4.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 100 Table of Contents is amended accordingly.

Part 5 Amends the Zoning Maps

- 5.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2 Zoning Maps is hereby amended by changing the zoning on the Lands as shown shaded on the map in **Schedule B** attached to this bylaw.

FROM: RS4 – Single Family Dwelling Zone 4

TO: CD89 – Comprehensive Development Zone 89 (6085 & 6093 Marine Drive)

Schedules

Schedule A – CD89 - Comprehensive Development Zone 89 (6085 & 6093 Marine Drive)

Schedule B – Amendment to Zoning Maps

READ A FIRST TIME on January 26, 2026

PUBLICATION OF NOTICE OF PUBLIC HEARING on February 11 and 18, 2026

PUBLIC HEARING HELD on February 23, 2026

READ A SECOND TIME on [Date]

READ A THIRD TIME on [Date]

APPROVED by the Ministry of Transportation and Transit on [Date]

ADOPTED by the Council on [Date].

Mayor

Corporate Officer

Schedule A – CD89 – Comprehensive Development Zone 89 (6085 & 6093 Marine Drive)

689 CD89 (6085 & 6093 Marine Drive)

AMENDING
BYLAW

SECTION REGULATION

689.01 Permitted Uses

- (1) accessory buildings, structures and uses
- (2) child care
- (3) community care
- (4) home based businesses
- (5) townhouses

689.02 Floor Area Ratio

- (1) Maximum: 0.70 FAR

689.03 Conditions of Use

- (1) Maximum number of units: 12

689.04 Setbacks

Minimum:

- (1) Minimum for all buildings except accessory buildings and structures:
 - (i) Front (Marine Drive): 6 m
 - (ii) Rear (Trail): 3 m
 - (iii) Side (North/Parking Lot): 1.5 m
 - (iv) Side (South): 35 m
- (2) Accessory buildings and structures: 0 m

689.05 Building Height

- (1) Maximum: 11.5 metres

689.06 Number of Storeys

- (1) Maximum: 3

689.07 Site Coverage

- (1) Maximum: 35%

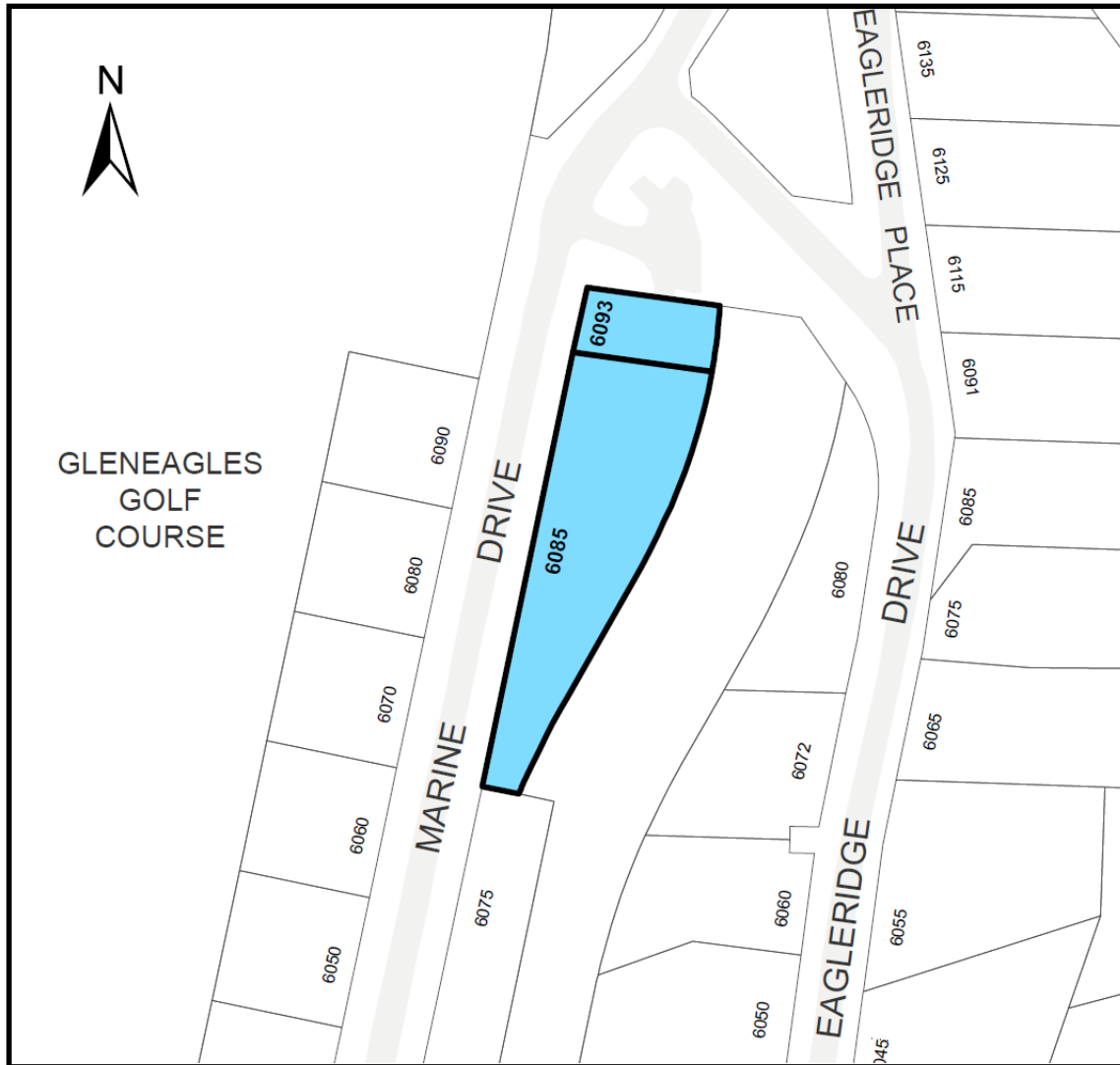
689.08 Off-Street Parking

- (1) Minimum of 28 parking spaces

Schedule B – Amendment to Zoning Maps

Amendment to Zoning Bylaw No. 4662, 2010, Schedule A, Section 852, Schedule 2, Zoning Maps.

Sketch plan showing the area to be rezoned to CD89:



6085 and 6093 Marine Drive