District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023
(325 Keith Road)

Effective Date: July 24, 2023

District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023

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District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023

A bylaw to amendment subdivision standards within the RS3 zone to facilitate an infill subdivision at 325 Keith Road

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, 4767, 4787, 4788, 4784, 4772, 4791, 4805, 4809, 4828, 4854, 4873, 4866, 4895, 4839, 4898, 4927, 4944, 4905, 4974, 4967, 4982, 4962, 4928, 4992, 5001, 5021, 5024, 5028, 5009, 4938, 5044, 5055, 5051, 5068, 5065, 5087, 5069, 5110, 5106, 5132, 5161, 5160, 5013, 5122, 5155, 5169, 5192, 5175, 5171, and 5201.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an infill subdivision at 325 Keith Road;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

1.1 This bylaw may be cited as Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023.

Part 2 Severability

2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

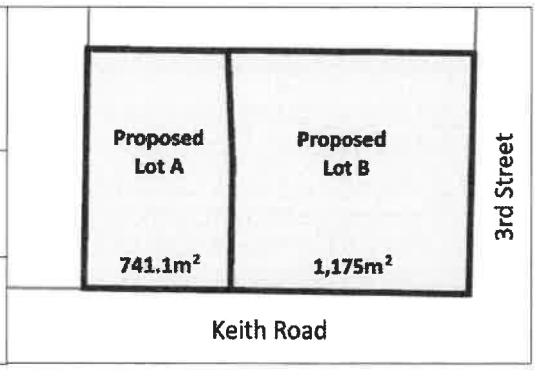
Part 3 Zoning Bylaw Amendments

3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 203 (RS3 Single Family Dwelling Zone 3) is hereby amended by adding the following new section immediately after existing Section 203.12:

"203.13 Alternative zoning standards

(1) Notwithstanding sections 203.03, 203.04, and 203.05 for the Land legally known as LOT 1 SOUTH EAST 1/4 OF DISTRICT LOT 1043 PLAN 8777 at 325 Keith Road as shown in the map below, for the purposes of an infill subdivision, the following shall apply:

Lots created by subdivision of 325 Keith Road	Minimum site area (square metres)	Maximum floor area ratio
Lot A fronting Keith Road	741.1m^2	0.184
Lot B fronting 3rd Street	1,175m^2	0.35



"

READ A FIRST TIME on February 6, 2023

PUBLICATION OF NOTICE OF PUBLIC HEARING on March 15 and 22, 2023

PUBLIC HEARING HELD on March 27, 2023

RECONVENED PUBLIC HEARING HELD on May 8, 2023

READ A SECOND TIME on May 8, 2023

READ A THIRD TIME on May 8, 2023

APPROVED by the Ministry of Transportation and Infrastructure, in accordance with section 52 (3) (a) of the *Transportation Act* on June 2, 2023

ADOPTED by the Council on July 24, 2023.

Mayor

Acting Corporate Officer

Director	CAO

COUNCIL AGENDA
Date: February 6, 2023 Item: 6.

DISTRICT OF WEST VANCOUVER
750 17TH STREET, WEST VANCOUVER BC V7V 3T3

COUNCIL REPORT

Date:	January 23, 2023
From:	Erik Wilhelm, Senior Community Planner
Subject:	Proposed Zoning Amendment for 325 Keith Road to Allow Subdivision
File:	05.1010.20/19-111.2019

RECOMMENDATION

THAT proposed "Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023" be read a first time.

RECOMMENDATION

THAT proposed "Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023" be presented at a public hearing on March 27, 2023, at 7 p.m. in the Municipal Hall Council Chamber and via electronic communication facilities (WebEx video conferencing software), and that notice be given of the scheduled public hearing.

1.0 Purpose

To present to Council a proposed zoning amendment to allow subdivision of 325 Keith Road.

2.0 Legislation/Bylaw/Policy

Local Government Act

The *Local Government Act* requires that a public hearing be held on the proposed rezoning bylaw.

Transportation Act

As the subject site is located within a "controlled area[1]", in compliance with Section 52 of the Transportation Act, the Ministry of Transportation and Infrastructure (MOTI) will be required to approve the zoning amendment for the subject site to accommodate the proposal.

Zoning Bylaw

The site is currently zoned Residential Single Family Dwelling Zone 3 (RS3) and a text amendment is required to amend the RS3 zone to facilitate the proposed infill subdivision.

[1] Land located within a radius of 800 metres from an intersection of a MOTI controlled access highway

3.0 Official Community Plan (OCP) and Council Strategic Objective(s)

Official Community Plan (OCP)

The OCP includes policies to address the housing needs of present and future generations within the community. The OCP aims to regenerate neighbourhoods with an estimated 300 - 400 new sensitive infill units (e.g., coach house, duplex, secondary suite, and infill subdivision) which can provide sensitive infill options that respect the scale and character of existing neighbourhoods. Policy 2.1.1 specifically states “amend neighbourhood subdivision standards (including consideration of site-specific applications) to enable the development of smaller houses on smaller lots in existing detached residential areas”.

2021 – 2022 Council Strategic Goals and Objectives

Applicable strategic goals and objectives:

- Goal 1.0: Significantly expand the diversity and supply of housing, including housing that is more affordable.
    - Objective 1.1: Approve an average of 250 net new housing units each year, including accessible housing, of which approximately 100 are market or non-market rental, approximately 75 are infill or missing middle (such as coach houses, multiplexes, and townhouses), and approximately 75 are strata apartment or mixed-use.

4.0 Financial Implications

4.1 Community Amenity Contribution

New developments where zoning amendment is necessary are expected to deliver community amenities. The value of the amenity is proportional to the increased potential of land use in comparison with existing zoning and land uses onsite. District policy defines a range of appropriate amenities, including housing affordability and diversity, childcare and cultural facilities, heritage preservation, public art, and public space, parks and the environment.

Consistent with District policy and through a negotiated approach, the applicant offers a voluntary community amenity contribution (CAC) of $175,125 in cash. District staff consulted with a third-party financial consultant (at the cost of the developer) to determine the voluntary CAC. Staff recommend acceptance of the CAC that would flow into the District’s amenity reserve account(s) to contribute to future amenity projects as determined by Council.

4.2 Development Cost Charges (DCCs)

At the subdivision stage, the applicant will be required to provide applicable DCCs for one new single-family lot as per the "Development Cost Charge Bylaw No. 3801, 1993".

4.3 Infrastructure Upgrades

The Land Development Department confirmed that subdivision of the site will require infrastructure upgrades (to be paid for by the applicant). Individual water, sanitary, and stormwater lines are required to service each of the new potential lots[2]. No adjacent roadway or boulevard improvements are required.

5.0 Background

The site, located at 325 Keith Road, is within the Cedardale neighbourhood east of Taylor Way (**Appendix A**). The site, which is currently 1,916.8 m^2 (20,632 sq. ft.) in area, is located east of the Taylor Way local area planning boundary and northwest of the Woodcroft apartment complex. The 'corner site' has an existing two-storey single family dwelling on the eastern portion of the site and an accessory one-storey coach house (with basement) on the western potion of the site (Figure 1). There are no significant trees onsite and Brothers Creek flows southwards west of the site. The site is surrounded by the following land uses:

- North & Northeast: Single-Family Dwellings
- Southeast: Woodcroft Apartments (District of North Vancouver)
- South: Townhouses
- West: Brothers Creek (and Single-Family Dwellings)

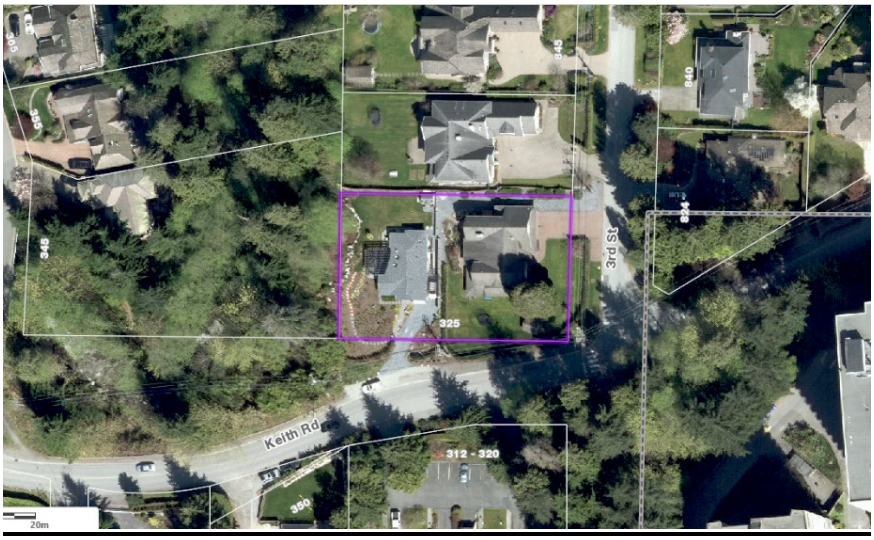


Figure 1 – Aerial Image of 325 Keith Road

[2] The existing single-family dwelling and coach house on site currently share infrastructure services (water, sanitary and storm sewer lines).

The single-family dwelling and coach house function entirely separately and are set apart by a fence and cedar hedging. As indicated in Figure 1, the coach house (on the west side of the property) is provided vehicular access from Keith Road and the single-family dwelling has driveway access from 3rd Street. The property owner (and applicant) has resided within the coach house since 2016 and currently rents the single-family dwelling to a family.

5.1 Previous Decisions

The Director of Planning and Development Services approved Development Permit 15-042 (circa 2015) allowing for construction of the accessory coach house on the western portion of the site. The development permit regulated the form and character of the coach house and ensured watercourse protection guidelines. As part of the previous development permit process, the owner was required to locate the coach house outside the 15 m watercourse protection area of Brothers Creek, remove invasive species, and demolish a shed located within the watercourse protection area. At that time, the owner was required to remove the existing secondary suite within the single-family dwelling in compliance with the zoning bylaw[3].

6.0 Analysis

6.1 Proposal

The application proposes to amend the zoning for the property to facilitate a subdivision to create a total of two lots. Proposed Lot A (with the coach house) would have a lot area of approximately 741.1 m^2 (7,977 sq. ft.) and proposed Lot B (with the existing single-family dwelling) would have a lot area of approximately 1,175 m^2 (12,655 sq, ft.) (Figure 2 and **Appendix B**). Building drawings of the existing coach house and single-family dwelling are provided within **Appendix C**.

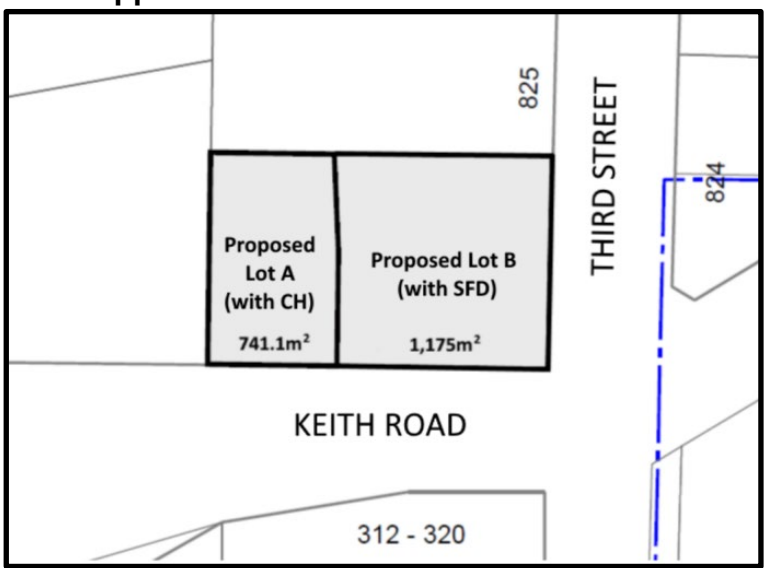


Figure 2 – Proposed Subdivision of 325 Keith Road

[3] The zoning bylaw at the time of the coach house development permit approval did not permit both a secondary suite and a coach house on the same property.

6.2 Discussion

The site is currently zoned Residential Single Family Dwelling Zone 3 (RS3). The RS3 zoning requires that all new lots created through subdivision must have a lot area of at least 975 m^2 (10,494.8 sq. ft.). Accordingly, as proposed Lot A (at 741.1 m^2 [7,977 sq. ft.]) would not meet the minimum lot area requirement, a text amendment to the RS3 zone is required to amend the subdivision standards within the RS3 zone to permit the proposed infill subdivision. Proposed Lot B (at 1,175 m^2 [12,655 sq. ft.]) is larger than the minimum lot area and compliant with RS3 lot area requirements.

The proposed zoning amendment (**Appendix D**) would implement 3 primary changes:

1. Reduce the minimum lot size for the site to allow for the proposed subdivision.
2. Limit the allowable floor area of proposed Lot A to the existing Floor Area Ratio (FAR) already in existence. Accordingly, proposed Lot A will be limited to 0.184 FAR which is the FAR of the existing coach house[4]. This limitation on FAR is to ensure the size of any future dwelling is in alignment with the current coach house (rather than a dwelling with a potential 0.3 FAR currently allowed within the RS3 zone).
3. Proposed Lot B will be permitted a maximum 0.35 FAR which is the approximate FAR of the existing single-family dwelling[5].

Planning staff support the zoning amendment for the following reasons:

- The proposed zoning amendment would facilitate an infill subdivision that is supported by the OCP's sensitive infill policies.
- As the existing coach house and single-family dwelling are already constructed, the proposed zoning amendment and resultant legal subdivision would have minimal construction impact on the immediate neighbourhood.
- Overall, on aggregate, the two proposed lots will maintain a FAR of 0.285 in alignment with the RS3 zone that limits the FAR to 0.30 for larger sites.

6.3 Sustainability

The proposed infill subdivision will utilize existing infrastructure such as roads, sewer and water and would not require demolition of the existing dwellings.

6.4 Public Engagement and Outreach

Public Information Meetings

Prior to submission of the formal rezoning application, and in compliance with District public engagement requirements, the applicant completed an in-

[4] The single-storey coach house has a 1,464 sq ft. floor area (at grade) with a 1,158 sq ft. basement.
[5] The two-storey single-family dwelling has a total floor area of 4,411.5 sq ft. floor area (including basement).

person Preliminary Public Information Meeting on November 27, 2019. A summary of the meeting is provided in **Appendix E**. To summarize, the meeting was attended by 10 residents and the proposal was unanimously supported by meeting attendees "as there would not be any significant changes to the existing property".

Should the proposal advance, the applicant will be required to advertise and conduct a second public information meeting prior to the public hearing.

Signage

Should the proposal advance, the applicant will be required to install a development information sign with particulars about the second public information meeting and public hearing.

Public Hearing and Notification

A public hearing must be held to consider the proposed bylaws. The recommendation herein projects the public hearing to be held on March 27, 2023. Notice of the public hearing will be given in accordance with District procedures.

Website

In alignment with current practise, a description of the proposal, applicable dates and architectural drawings have been placed on the District website. The website will be updated should the proposal advance.

5.4 Conditions Precedent to Adoption

As the property is located within 800 metres of a Controlled Access Highway[6] interchange, Ministry of Transportation and Infrastructure approval will be required for the rezoning bylaw in accordance with section 52 of the *Transportation Act*.

Additionally, a development covenant registered on title will be required to ensure subdivision servicing requirements and to secure payment of the CAC prior to subdivision approval.

7.0 Options

7.1 Recommended Option

It is recommended that Council give first reading to the proposed zoning bylaw and set a date for a public hearing.

7.2 Considered Options

Council may:

a) give first reading to the proposed bylaw and set an alternative date (to be specified) for a public hearing; or

b) defer consideration pending receipt of additional information (to be

[6] Taylor Way and intersection of Taylor Way and Marine Drive is within ministerial jurisdiction.

specified); or

c) reject the proposal.

8.0 Conclusion

Staff assessment of this application has concluded that the proposal is appropriate and supportable based on relevant OCP policy. Specifically, the proposal is generally consistent with Policy 2.1.1 which aims to facilitate infill development in existing neighbourhoods. As the proposed rezoning will facilitate an infill subdivision that would integrate into this area of Cedardale, staff recommends that the proposed zoning bylaw be given first reading and a date for a public hearing be scheduled.

Author: _____
Erik Wilhelm, Senior Community Planner

Concurrence _____
Michelle McGuire, Senior Manager of Current Planning and Urban Design

Appendices:

A - Subject Property Map (325 Keith Road)
B - Proposed Subdivision and Survey Information
C - Building Drawings (of existing structures)
D - Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023
E - Preliminary Public Information Meeting Summary

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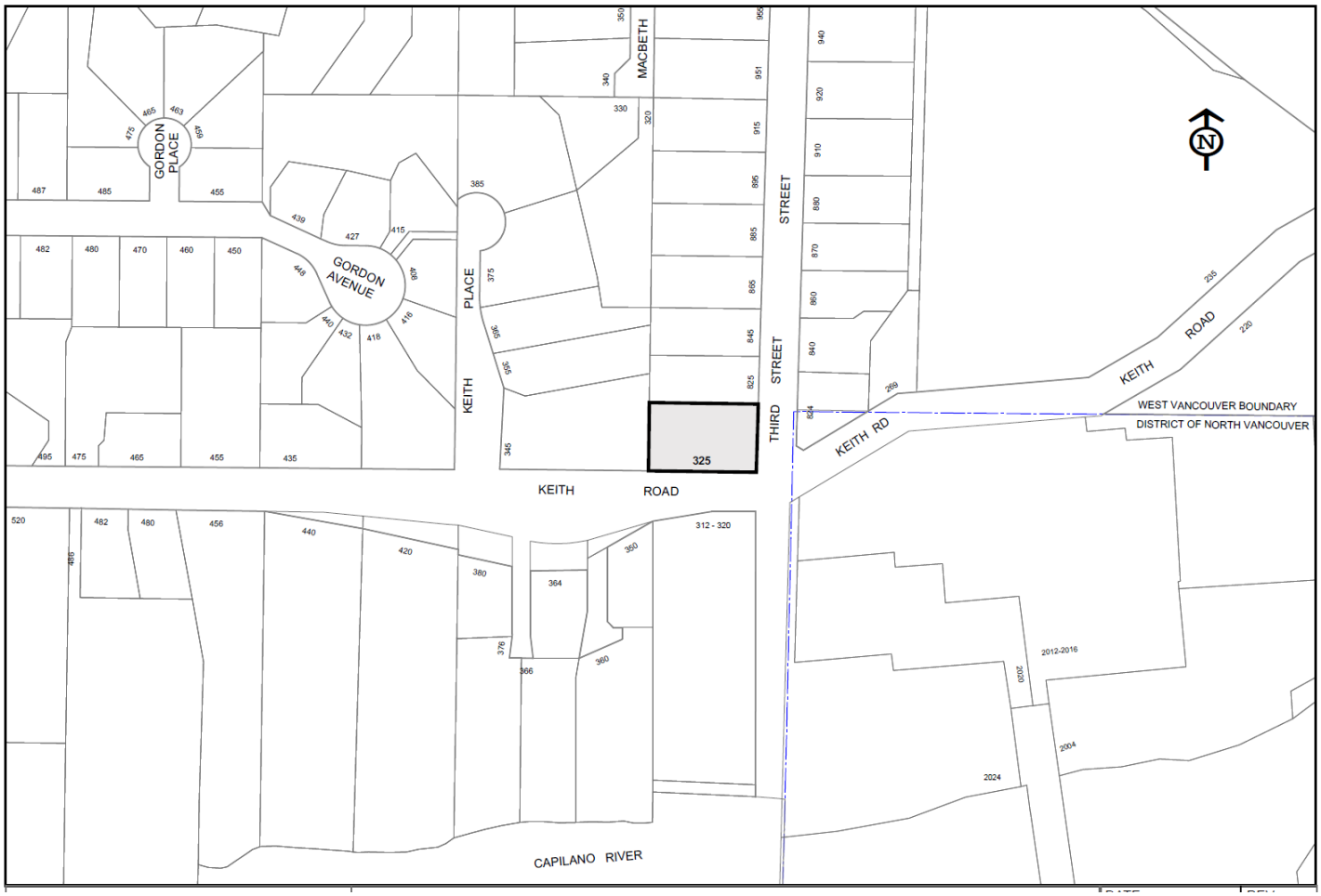
Appendix A – Subject Property Map (325 Keith Road)



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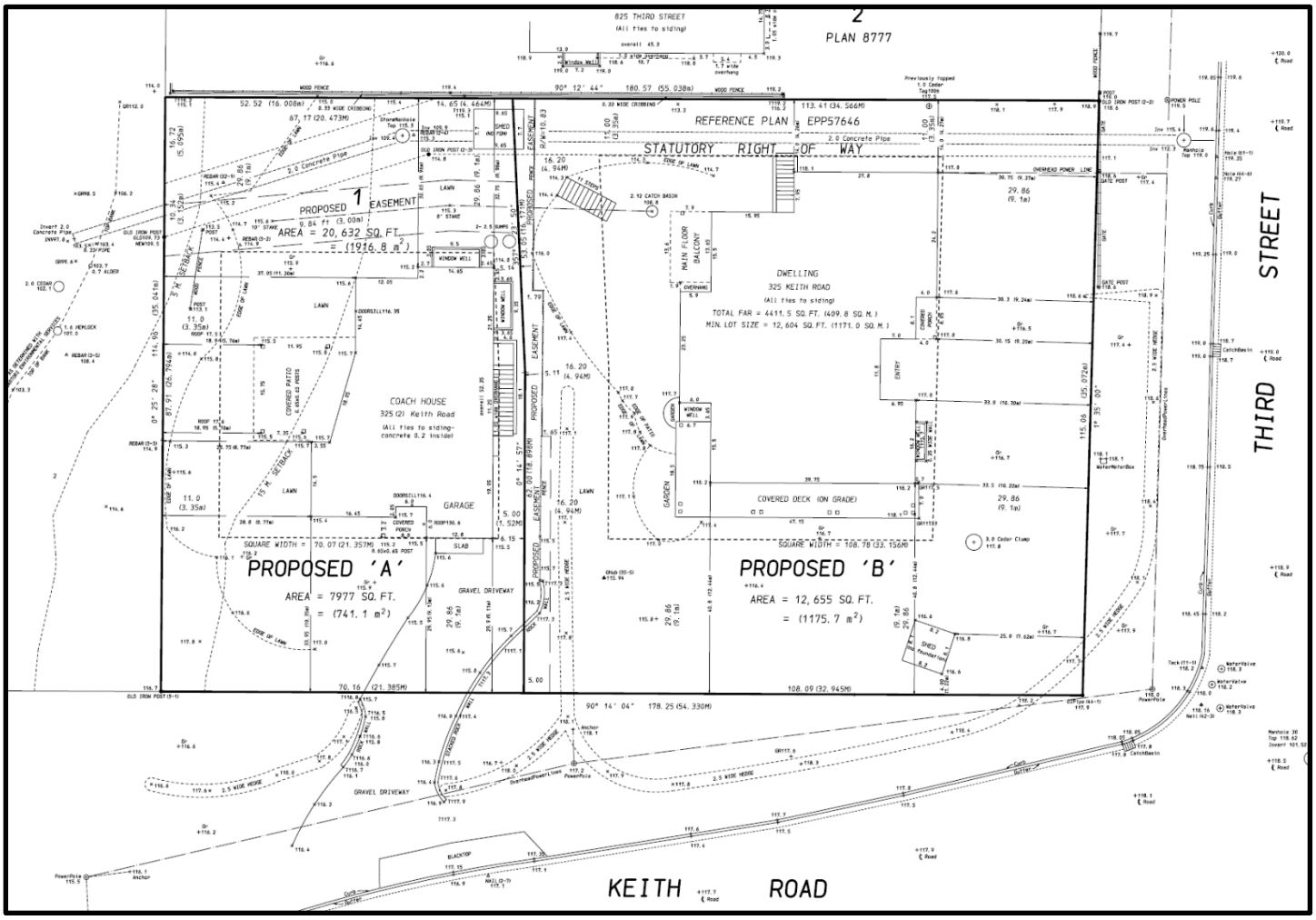
Appendix B – Proposed subdivision and survey information



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Appendix C

LEGAL INFORMATION

Site Address:	325 KEITH ROAD, WEST VANCOUVER, BC
Legal Address:	LOT 1, SOUTH EAST 1/4 OF DISTRICT LOT 1043, GROUP ONE NWD, PLAN 8777
Zoning:	RS-3
Lot Size:	20,630 SQ. FT. (1916.58m^2)

CONTEXT PLAN - SCALE (n.t.s)

DRAWING LIST

No.	Sheet Title
	LEGAL INFORMATION
A0.00	Cover Sheet
A0.01	General Notes
	SITE PLANS
A1.01	Site Plan
A1.02	Landscaping Plan
A1.03	Construction Assemblies/ Site Details
A1.04	Sediment Plan
	BUILDING PLANS
A2.01	Basement Floor Plan - Main House - Proposed Lot B
A2.02	Main Floor Plan - Main House - Proposed Lot B
A2.03	Upper Floor Plan - Main House - Proposed Lot B
A2.04	Existing Elevations - Main House - Proposed Lot B
A2.04A	Existing Elevations - Main House - Proposed Lot B
A2.05	Basement Floor Plan - Coach House - Proposed Lot A
A2.06	Main Floor Plan - Coach House - Proposed Lot A
A2.07	Roof Plan - Coach House - Proposed Lot A
	Building Sections
A3.01	Cross Section AA & BB
	Exterior Elevations
A4.01	Exterior Elevations
	Envelope Details
A5.01	Construction Details

SITE ZONING SUMMARY:

Lot Zone	**RS3**	
Lot Area	**1,916.58m2**	Min 1,115m2
Lot Width	**35.06m**	Min 24.4m
Lot Flanking Lot Width	**35.06m**	Min 29m
Max Lot Depth	**54.86m**	4 x width

DO NOT SCALE DRAWINGS.
REPORT ALL DISCREPANCIES TO SITE SUPERVISOR OR GENERAL CONTRACTOR.

SITE CONTACT:
MARC DUBRULLE
778-899-6272

OFFICE CONTACT:
BRIAN SHEEHAN
604-264-8837 (157)

SMALLWORKS
STUDIOS / LANEWAY HOUSING INC
116 WEST 8th AVENUE (UNIT 2)
VANCOUVER, BC V5Y 1N2
t:(604) 264-8837 f:(604) 264-8872
www.smallworks.ca

Dickson Project

SITE ADDRESS:

325 KEITH ROAD
WEST VANCOUVER, BC

Cover Sheet

SCALE

DRAWN BY
BS

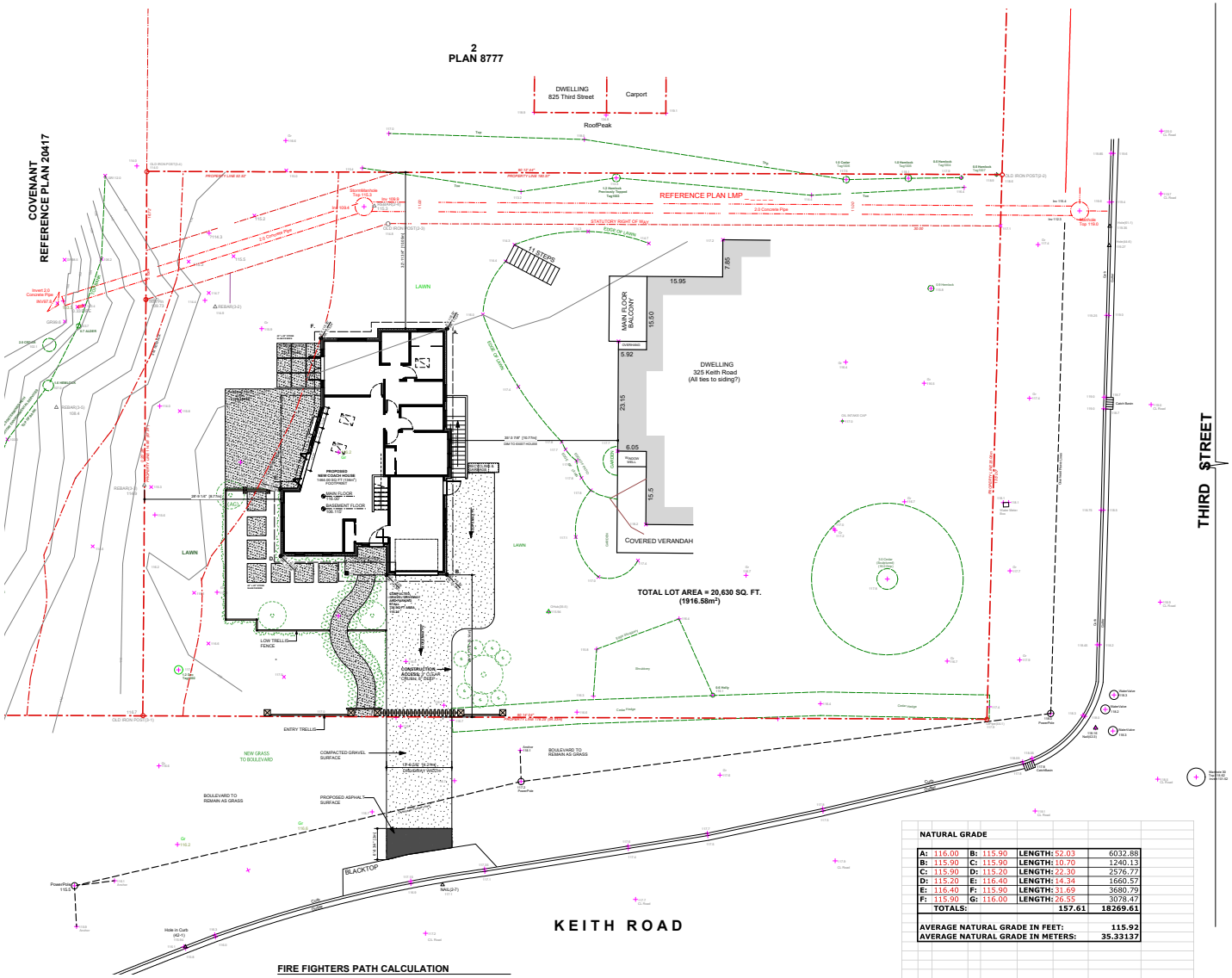
CHECKED BY

ISSUED FOR
Rezoning

ISSUE	DATE	DESCRIPTION

SHEET NUMBER

A1



FIRE FIGHTERS PATH CALCULATION

STREET CURB TO COACH HOUSE: 72.17ft. (22m)

LEGAL ADDRESS:
325 KEITH ROAD, WEST VANCOUVER
LOT 1, SOUTH EAST 1/4 OF DISTRICT
LOT 1043 GROUP 1 NWD PLAN 8777

ZONING: RS-3
LOT SIZE: 20,630 SQ.FT (1916.58 M2)

NATURAL GRADE

A:	116.00	B:	115.90	LENGTH:	52.03	6032.88
B:	115.90	C:	115.90	LENGTH:	10.70	1240.13
C:	115.90	D:	115.20	LENGTH:	22.30	2576.77
D:	115.20	E:	116.40	LENGTH:	14.34	1660.57
E:	116.40	F:	115.90	LENGTH:	31.69	3680.79
F:	115.90	G:	116.00	LENGTH:	26.55	3078.47
	TOTALS:				157.61	18269.61

AVERAGE NATURAL GRADE IN FEET: 115.92
AVERAGE NATURAL GRADE IN METERS: 35.33137

FINISHED GRADE

A:	115.34	B:	115.34	LENGTH:	52.03	6001.14
B:	115.34	C:	115.34	LENGTH:	10.70	1234.14
C:	115.34	D:	115.34	LENGTH:	22.30	2572.08
D:	115.34	E:	115.34	LENGTH:	14.34	1653.98
E:	115.34	F:	115.34	LENGTH:	31.69	3655.12
F:	115.34	G:	115.34	LENGTH:	26.55	3062.28
	TOTALS:				157.61	18178.74

AVERAGE NATURAL GRADE IN FEET: 115.34
AVERAGE NATURAL GRADE IN METERS: 35.15563

SITE PLAN NOTES:

REFER TO KEY PLAN A1.00 FOR EXISTING SITE TREE SCHEDULE.

REFER TO ENGINEERING PLAN ON A1.01 FOR SITE SERVICES LOCATIONS AND INFO.

REFER TO LANDSCAPE PLAN ON A1.04 FOR NEW PLANTING LIST AND NEW HARDSCAPING INFO.

REFER TO SITE DETAILS ON A1.05 FOR ALL NEW SITE DETAILS.

DENOTES EXTENT OF PROPERTY

DENOTES EXTENT OF TREE PROTECTION FENCING. REFER TO A1.02.

SITE FAR SUMMARY:

Site Area	1916.58m2	100.00 %
FAR .0.35	*670.80m2*	*(35.00 %)*
Existing		
Existing House Area	409.84m2	21.08 %
Existing Carport	N/A	N/A
Proposed		
New Coach House Building Footprint	136m2	7.09 %
(Internal Garage)	*24.52m2*	*(1.27 %)*
Total Site - FAR Coverage	**521.32m2**	**27.20 %**

SITE COVERAGE SUMMARY:

Total Site Area	20630.00 sq.ft.	100.00 %
Existing House Area	4411.50 sq.ft.	21.38 %
Existing Carport		0.00 %
Existing Patio & Deck		0.00 %
Existing Sidewalks & Hardscaping	580.00 sq.ft.	2.81 %
Existing Coach House Building Footprint	1464.00 sq.ft.	7.10 %
(Internal Garage)	*264.00 sq.ft.*	
Patio/ Sidewalk	560.00 sq.ft.	2.71 %
Paving stones	112.00 sq.ft.	
Total Site Coverage	**5875.50 sq.ft.**	**28.48 %**
Total Impermeable Site Area	**7127.50 sq.ft.**	**34.549 %**
Total Permeable Site Area	**13502.50 sq.ft.**	**65.451 %**

DO NOT SCALE DRAWINGS.
REPORT ALL DISCREPANCIES TO SITE SUPERVISOR OR GENERAL CONTRACTOR.

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WEST VANCOUVER, BC

SITE ADDRESS:

325 KEITH ROAD
WEST VANCOUVER, BC

Site Plan

SCALE
3/32" = 1'-0"

DRAWN BY
BS

CHECKED BY

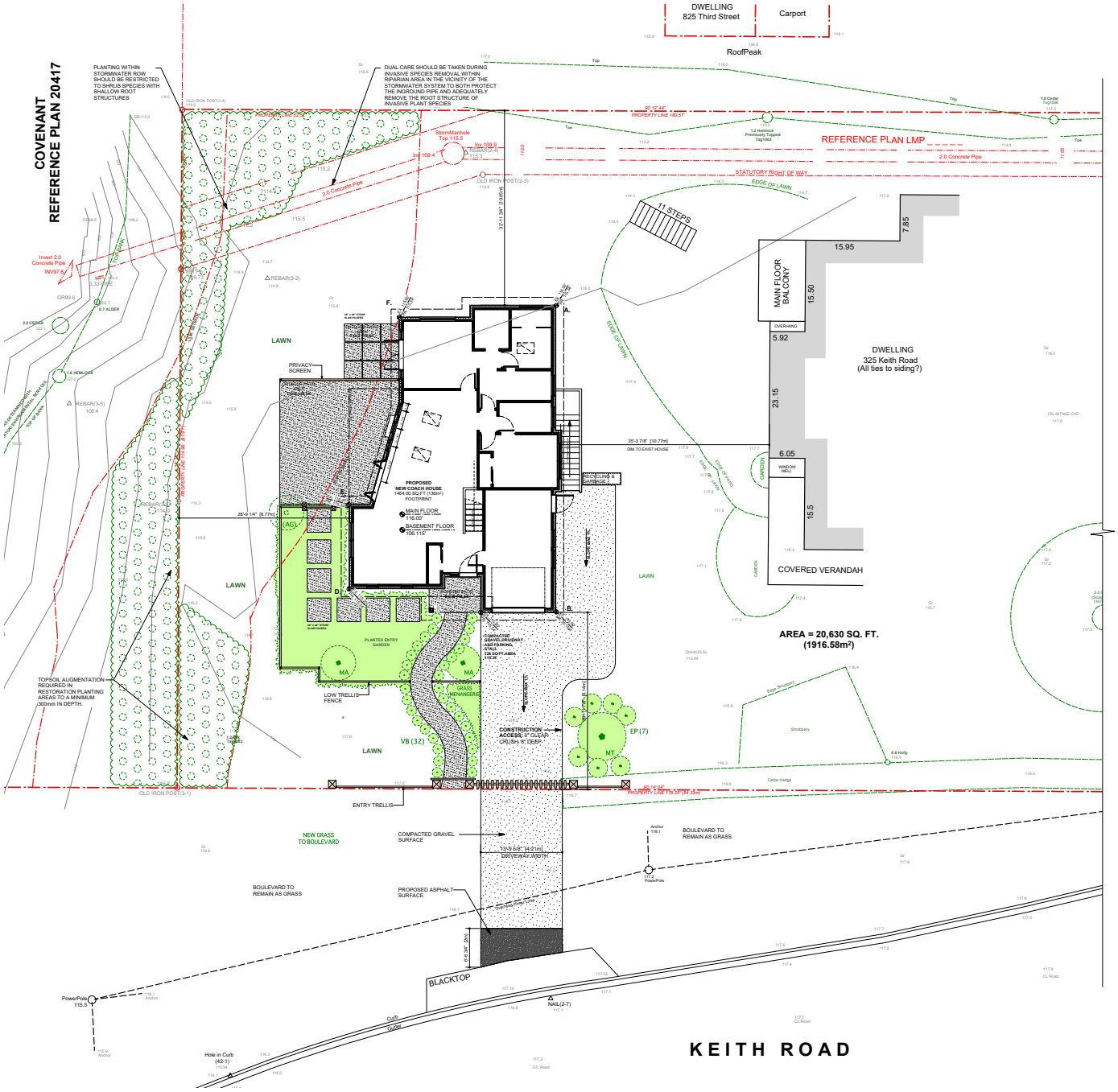
ISSUED FOR
Rezoning

DATE

ISSUE	DATE	DESCRIPTION

SHEET NUMBER

A2



LANDSCAPING PLAN NOTES:

REFER TO KEY PLAN A1.00 FOR EXISTING SITE TREE SCHEDULE.

REFER TO ENGINEERING PLAN ON A1.01 FOR SITE SERVICES LOCATIONS AND INFO.

REFER TO LANDSCAPE PLAN ON A1.04 FOR NEW PLANTING LIST AND NEW HARDSCAPING INFO.

REFER TO SITE DETAILS ON A1.05 FOR ALL NEW SITE DETAILS.

DENOTES EXTENT OF PROPERTY

DENOTES EXTENT OF TREE PROTECTION FENCING. REFER TO A1.02.

NEW LANDSCAPING

DENOTES NEW PLANTING

NEW PLANTING LIST

MT	MONKEY TAIL TREE		
	SIZE:		3.5M B+B
	QUANTITY:	1	
MA	MAGNOLIA		
	SIZE:		3.5M B+B
	QUANTITY:	2	
AG	ACER GRISEUM		
	SIZE:		3.5M B+B
	QUANTITY:	1	
EP	EUPHORBIA		
	SIZE:		3.5M B+B
	QUANTITY:	7	
VB	VARIEGATED BOX		
	SIZE:		#3 POT
	QUANTITY:	32	

RIPARIAN REVEGETATION

REFER TO ENVIRONMENTAL REPORT BY *SANTORI ENVIRONMENTAL SERVICES*

CONIFEROUS TREES
(5.0 - 7.0m SPACING FROM OTHER CONIFEROUS TREES, AND PURCHASED AT A MINIMUM HEIGHT OF 1.2m, UNLESS OTHERWISE SPECIFIED BELOW)

4 - SHORE PINE *PINUS CONORTA*

TOTAL - 4

DECIDUOUS TREES
(3.0 - 5.0m SPACING FROM OTHER DECIDUOUS AND CONIFEROUS TREES, AND PURCHASED AT A MINIMUM HEIGHT OF 1.2m, UNLESS OTHERWISE SPECIFIED BELOW)

4 - VINE MAPLE *ACER CIRCINATUM*
4 - RED ALDER *ALNUS RUBRA*
4 - PACIFIC WILLOW *SALIX LUCIDIA SSP. LASIANDRA*
4 - BITTER CHERRY *PRUNUS EMARGINATA*

TOTAL - 16

SHRUBS
(0.25 - 1.0m SPACING FROM OTHER VEGETATION AND PURCHASED IN MINIMUM #1 OR ONE GALLON CONTAINERS)

10 - SALMONBERRY *RUBUS SPECTABILIS*
10 - BALDHIP ROSE *ROSA GYMNOCARPA*
10 - RED-OSIER DOGWOOD *CORNUS STOLONIFERA*
10 - RED HUCKLEBERRY *VACCINIUM PARVIFOLIUM*
10 - PACIFIC NINEBARK *PHYSOCARPUS CAPITATUS*
10 - WESTERN SWORDFERN *POLYSTICHUM MUNITUM*
10 - DEER FERN *BLECHNUM SPICANT*
10 - SALAL *GAULTHERIA SHALLON*

TOTAL - 80

NEW SITE HARDSCAPING

ALL CONC. HARDSCAPING TO BE BROOM FINISHED.

DO NOT SCALE DRAWINGS.
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Dickson Project

SITE ADDRESS:

325 KEITH ROAD
WEST VANCOUVER, BC

Landscape Plan

SCALE
1/8" = 1'-0"

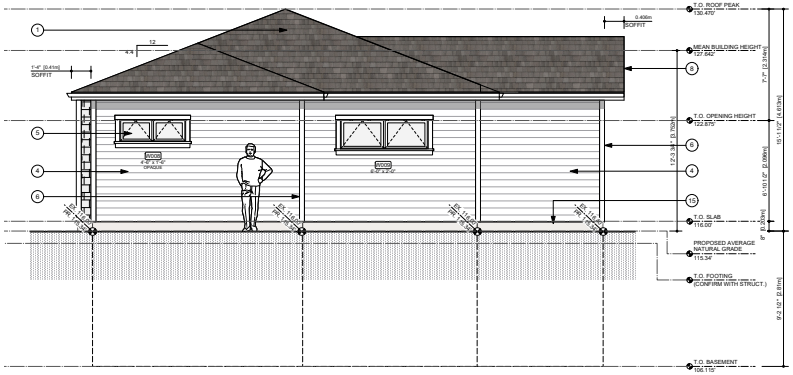
DRAWN BY: BS
CHECKED BY:

ISSUED FOR: **Rezoning**
DATE:

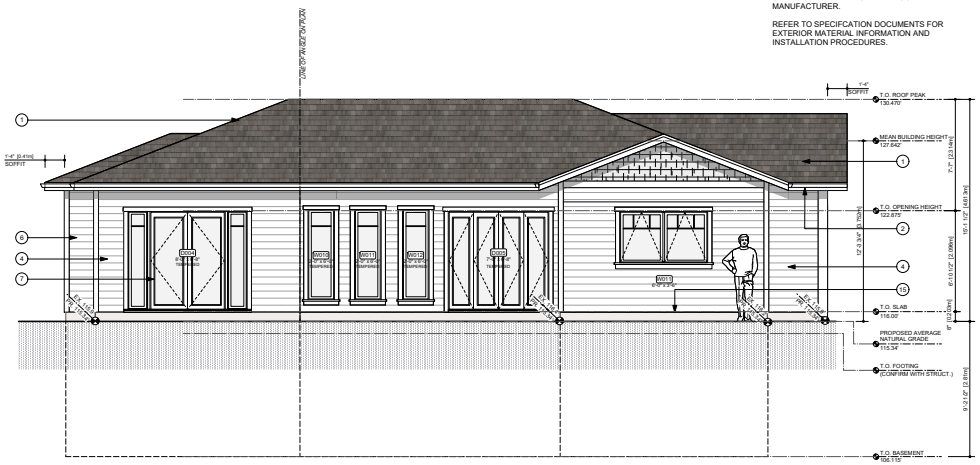
ISSUE	DATE	DESCRIPTION

SHEET NUMBER

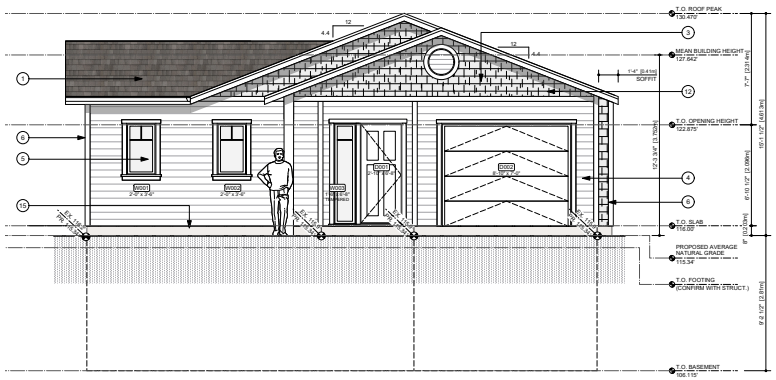
A3



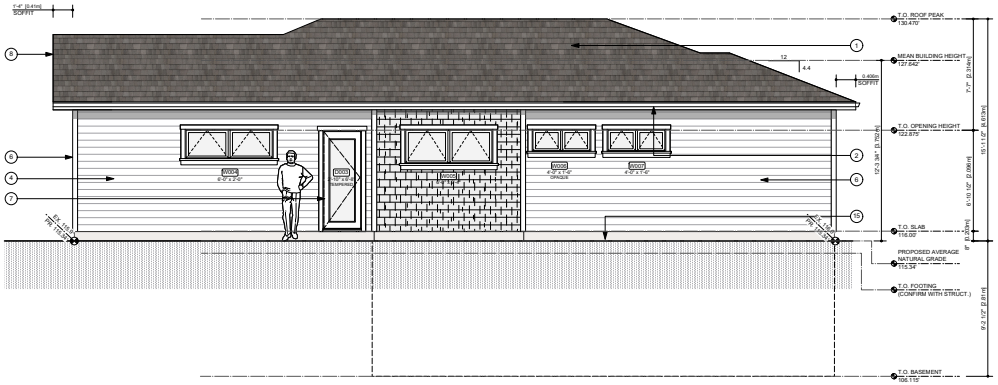
NORTH ELEVATION - REAR YARD
Scale: 1/4" = 1'-0"



WEST ELEVATION - SIDE YARD
Scale: 1/4" = 1'-0"



SOUTH ELEVATION - STREET VIEW
Scale: 1/4" = 1'-0"



EAST ELEVATION - SIDE YARD
Scale: 1/4" = 1'-0"

SPATIAL SEPARATION:

(North)

Exposed Building Face	245.00 sq.ft.	(22.77 sq.m.)
Limiting Distance (to PL)	32.98 ft.	(10.05 m.)

Allowable Area if Glazed Openings in Exterior Walls according to 9.10.15.4. COV Building Bylaw

(Interpolated Value) 100.00 % **= 22.77 sq.m.**

Calculated Area of Glazed Openings

(7.47 %) 1.70 sq.m.

SPATIAL SEPARATION:

(West)

Exposed Building Face	399.00 sq.ft.	(37.08 sq.m.)
Limiting Distance (to PL)	28.88 ft.	(8.80 m.)

Allowable Area if Glazed Openings in Exterior Walls according to 9.10.15.4. COV Building Bylaw

(Interpolated Value) 100.00 % **= 37.08 sq.m.**

Calculated Area of Glazed Openings

(38.67 %) 14.34 sq.m.

SPATIAL SEPARATION:

(South)

Exposed Building Face	328.00 sq.ft.	(30.48 sq.m.)
Limiting Distance (to CL of Keith Rd)	28.26 ft.	(8.61 m.)

Allowable Area if Glazed Openings in Exterior Walls according to 9.10.15.4. COV Building Bylaw

(Interpolated Value) 100.00 % **= 30.48 sq.m.**

Calculated Area of Glazed Openings

(7.41 %) 2.26 sq.m.

SPATIAL SEPARATION:

(East)

Exposed Building Face	369.70 sq.ft.	(34.36 sq.m.)
Limiting Distance (1/2 dist to house)	17.75 ft.	(5.41 m.)

Allowable Area if Glazed Openings in Exterior Walls according to 9.10.15.4. COV Building Bylaw

(Interpolated Value) 65.00 % **= 22.33 sq.m.**

Calculated Area of Glazed Openings

(15.08 %) 5.18 sq.m.

EXTERIOR ELEVATION NOTES:

WINDOW AND DOOR SIZES SHOWN ARE FOR DESIGN COORDINATION AND ESTIMATING ONLY. CONFIRM OPERATION AND ROUGH OPENINGS WITH WINDOW AND DOOR MANUFACTURER.

REFER TO SPECIFCATION DOCUMENTS FOR EXTERIOR MATERIAL INFORMATION AND INSTALLATION PROCEDURES.

EXTERIOR MATERIALS:

1. 30yr. ASPHALT SHINGLE ROOFING COLOUR - REFER TO SPEC
2. PRE. FIN. ALUMINUM GUTTERS & DOWNSPOUTS
3. EXTERIOR SHINGLE SIDING
4. EXTERIOR PAINT FINISH 5" EXPOSURE CEDAR SIDING
5. VINYL FRAME DUAL PANE WINDOWS
6. 2" x 6" PAINTED WOOD CORNER TRIM
7. SMOOTH FIBREGLASS EXT DOOR
8. 1" x 8" PAINTED FASCIA
9. 2" x 6" PAINTED WOOD EXT DOOR TRIM
10. 2" x 4" PAINTED WOOD WINDOW TRIM
11. DUAL BC HYDRO METER
12. PAINTED WOOD KNEE BRACES
13. VELUX SKYLIGHT
14. 1" x 12" PAINTED BAND BOARD
15. CONCRETE FOUNDATION

DO NOT SCALE DRAWINGS.
REPORT ALL DISCREPANCIES TO SITE SUPERVISOR OR GENERAL CONTRACTOR.

SITE CONTACT:
MARC DUBRULLE
778-899-6272

OFFICE CONTACT:
BRIAN SHEEHAN
604-264-8837 (157)

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www.smallworks.ca

Dickson Project

:

SITE ADDRESS:

325 KEITH ROAD
WEST VANCOUVER, BC

Existing Coach House Exterior Elevations

SCALE
1/4" = 1'-0"

DRAWN BY
BS

CHECKED BY

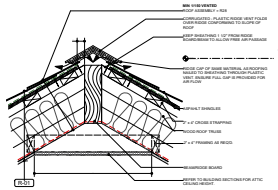
ISSUED FOR
Rezoning

DATE

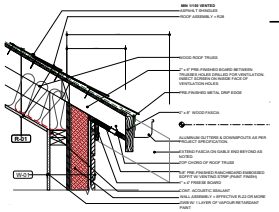
ISSUE	DATE	DESCRIPTION

SHEET NUMBER

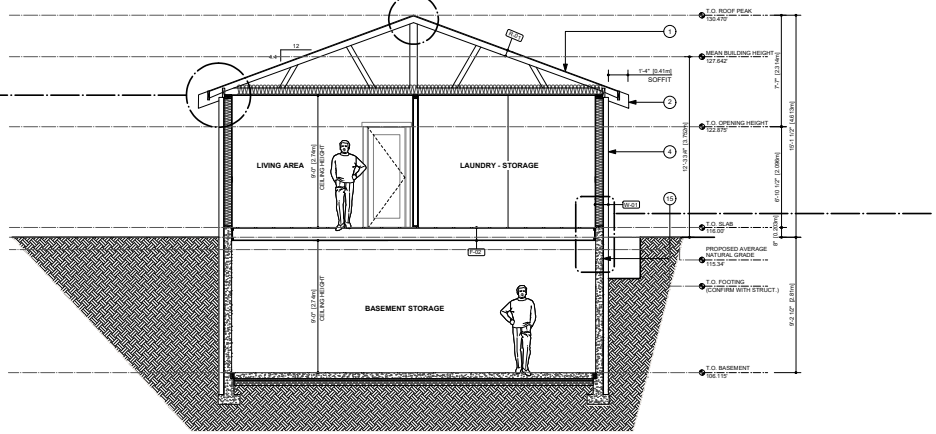
A4



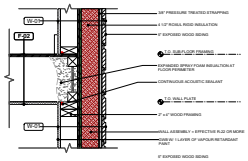
SECTION DETAIL - TYP. ROOF RIDGE VENTING
SCALE: 1" = 1'-0"



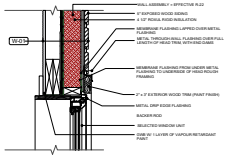
SECTION DETAIL - TYP. ROOF OVERHANG
SCALE: 1" = 1'-0"



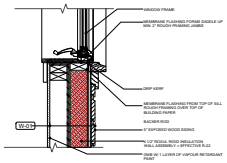
SECTION - AA
Scale: 1/4" = 1'-0"



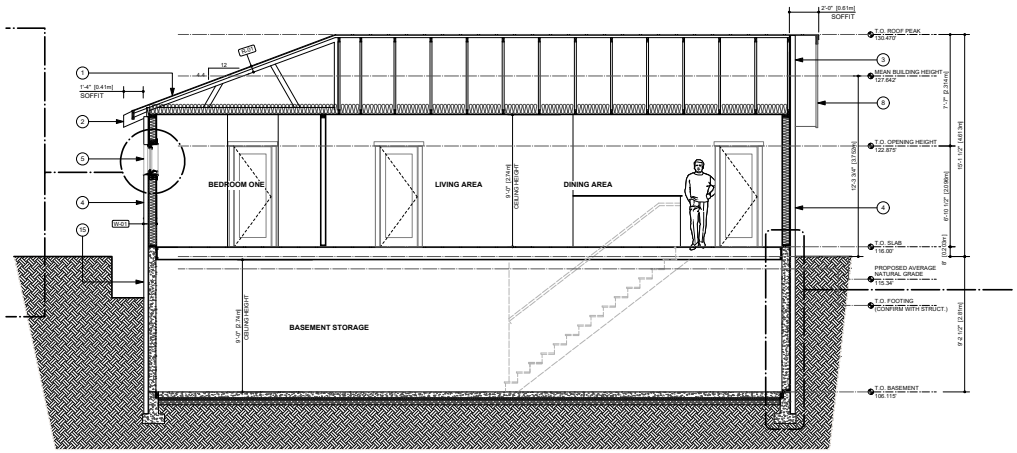
SECTION DETAIL - TYP. FLOOR AT EXT. WALL
SCALE: 1" = 1'-0"



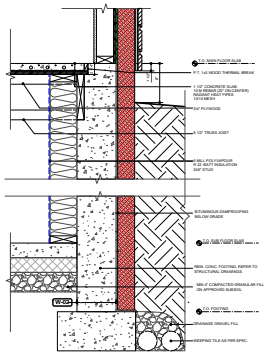
SECTION DETAIL - TYP. WINDOW HEAD
SCALE: 1" = 1'-0"



SECTION DETAIL - TYP. WINDOW SILL
SCALE: 1" = 1'-0"



SECTION - BB
Scale: 1/4" = 1'-0"



SECTION DETAIL - TYP. CRAWL SPACE FOUNDATION
SCALE: 1" = 1'-0"

EXTERIOR MATERIALS:

1. 30yr. ASPHALT SHINGLE ROOFING COLOUR - REFER TO SPEC
2. PRE. FIN. ALUMINUM GUTTERS & DOWNSPOUTS
3. EXTERIOR SHINGLE SIDING
4. EXTERIOR PAINT FINISH 5" EXPOSURE CEDAR SIDING
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12. PAINTED WOOD KNEE BRACES
13. VELUX SKYLIGHT
14. 1" x 12" PAINTED BAND BOARD
15. CONCRETE FOUNDATION

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REPORT ALL DISCREPANCIES TO SITE SUPERVISOR OR GENERAL CONTRACTOR.

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Dickson Project

SITE ADDRESS:

325 KEITH ROAD
WEST VANCOUVER, BC

Existing Coach House Cross Section A-A & B-B

SCALE
1/4" = 1'-0"

DRAWN BY
BS

CHECKED BY

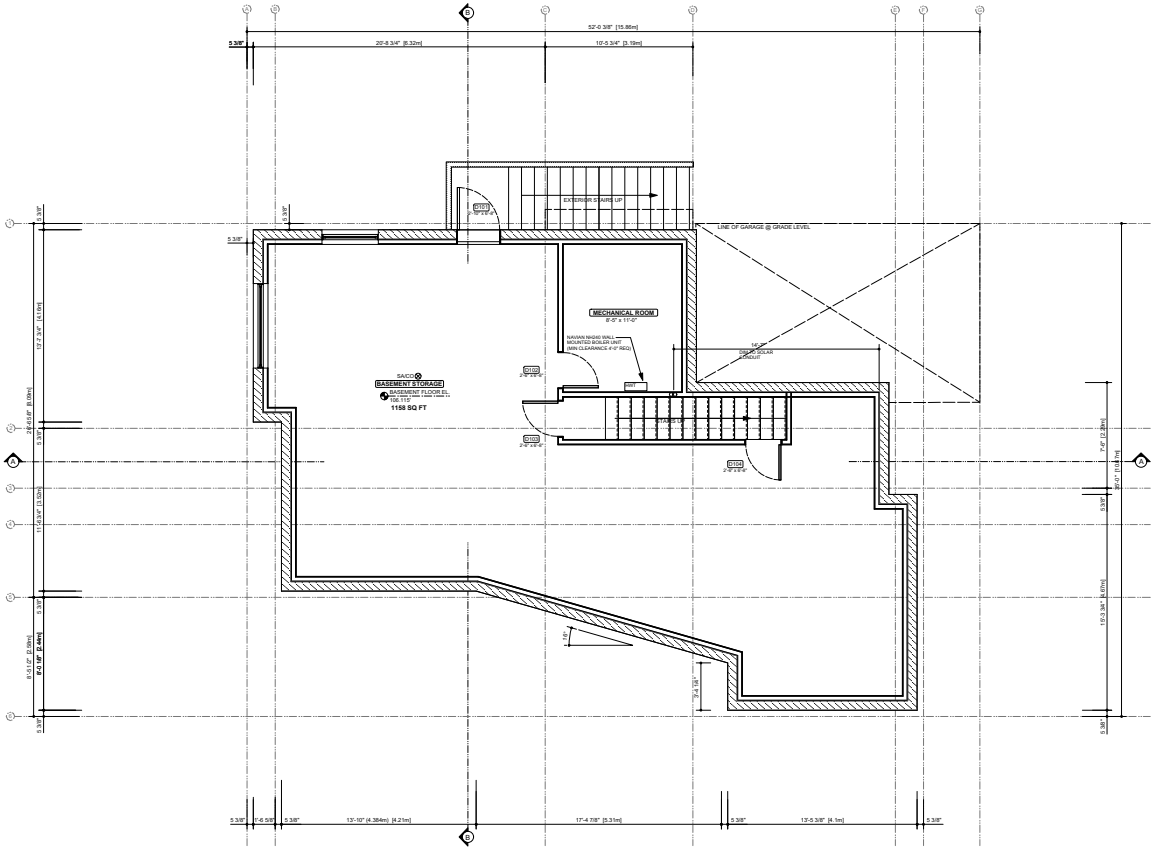
ISSUED FOR
Rezoning

DATE

ISSUE	DATE	DESCRIPTION

SHEET NUMBER

A5



BASEMENT FLOOR PLAN NOTES:

REFER TO A1.02 FOR ALL GENERAL BUILDING NOTES AND BUILDING CODE INFORMATION.

REFER TO A2.00 FOR ALL CONSTRUCTION ASSEMBLIES.

REFER TO O2.01 & O2.02 FOR ALL FSR (FLOOR SPACE RATIO) CALCULATIONS

WINDOW AND DOOR SIZES SHOWN ARE FOR DESIGN COORDINATION AND ESTIMATING ONLY. CONFIRM OPERATION AND ROUGH OPENINGS WITH WINDOW AND DOOR MANUFACTURER

ALL EXTERIOR DIMENSIONS TO OUTSIDE OF THE SHEATHING, UNLESS NOTED OTHERWISE.

ALL INTERIOR DIMENSION TO OUTSIDE FACE OF THE SHEATHING UNLESS OTHERWISE NOTED.

ALL EXTERIOR WALLS TO BE W-01 UNLESS NOTED OTHERWISE.

ALL INTERIOR PARTITIONS TO BE P-03 UNLESS NOTED OTHERWISE.

ALL INTERIOR PLUMBING WALLS TO BE P-02.

STAIR NOTES:

STAIR TREADS AND RISERS TO COMPLY WITH BCBC 2012, DIVISION B - PART 9 TABLE 9.8.4.2

MAIN FLOOR SLAB TO TOP OF UPPER LEVEL
SUB-FLOOR: 9'-0" = 14 RISERS

STAIR WIDTH:	3'-0"
RISE:	7.71"
RUN:	10"
TREAD:	11"

DO NOT SCALE DRAWINGS.
REPORT ALL DISCREPANCIES TO SITE SUPERVISOR OR GENERAL CONTRACTOR.

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Dickson Project

SITE ADDRESS:

325 KEITH ROAD
WEST VANCOUVER, BC

Existing Coach House Basement Floorplan

SCALE
1/4" = 1'-0"

DRAWN BY: BS
CHECKED BY:

ISSUED FOR: **Rezoning**
DATE:

ISSUE	DATE	DESCRIPTION

SHEET NUMBER

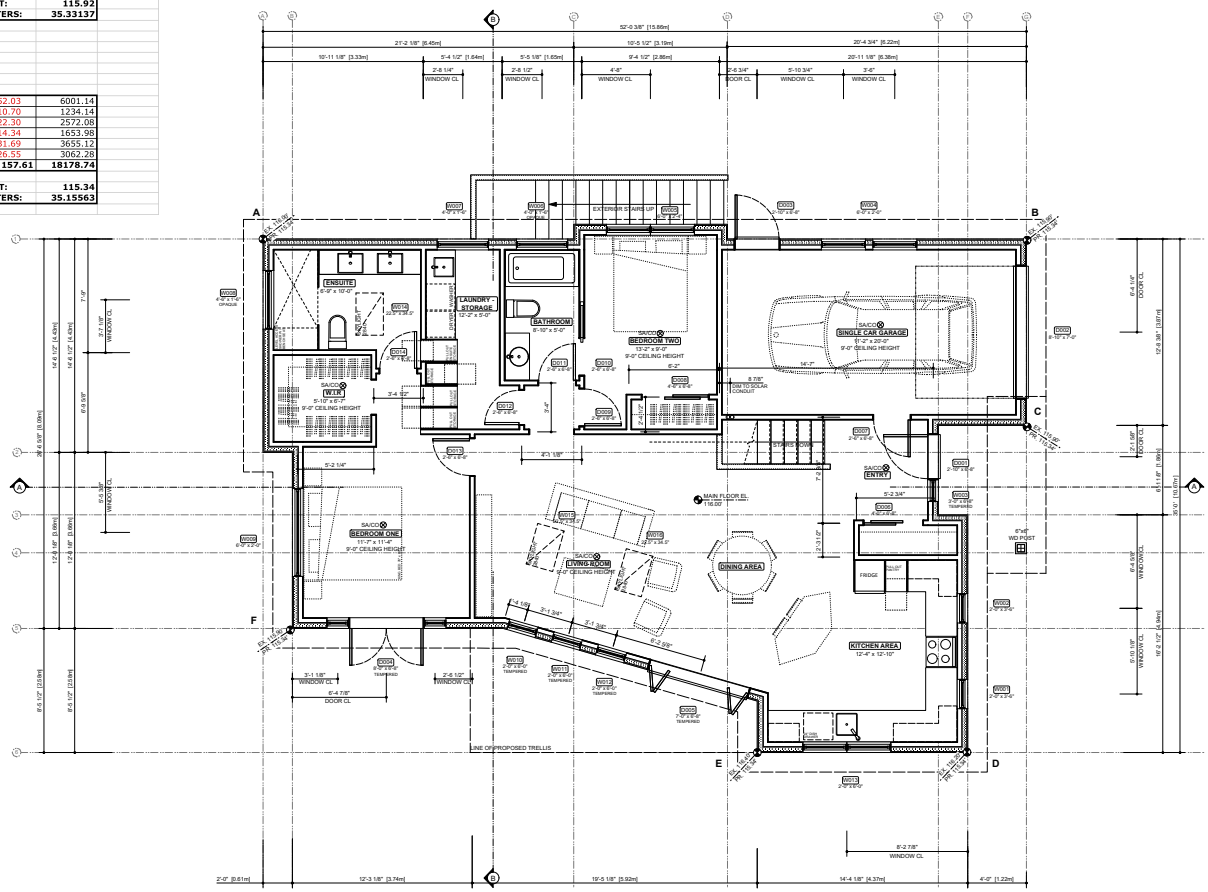
A6

NATURAL GRADE

A:	116.00	B:	115.90	LENGTH: 52.03	6032.88
B:	115.90	C:	115.90	LENGTH: 10.70	1240.13
C:	115.90	D:	115.20	LENGTH: 22.30	2576.77
D:	115.20	E:	116.40	LENGTH: 14.34	1660.57
E:	116.40	F:	115.90	LENGTH: 31.69	3680.79
F:	115.90	G:	116.00	LENGTH: 26.55	3078.47
	TOTALS:			157.61	18269.61
AVERAGE NATURAL GRADE IN FEET:					115.92
AVERAGE NATURAL GRADE IN METERS:					35.33137

FINISHED GRADE

A:	115.34	B:	115.34	LENGTH: 52.03	6001.14
B:	115.34	C:	115.34	LENGTH: 10.70	1234.14
C:	115.34	D:	115.34	LENGTH: 22.30	2572.08
D:	115.34	E:	115.34	LENGTH: 14.34	1653.98
E:	115.34	F:	115.34	LENGTH: 31.69	3655.12
F:	115.34	G:	115.34	LENGTH: 26.55	3062.28
	TOTALS:			157.61	18178.74
AVERAGE NATURAL GRADE IN FEET:					115.34
AVERAGE NATURAL GRADE IN METERS:					35.15563



MAIN FLOOR PLAN NOTES:

REFER TO A1.02 FOR ALL GENERAL BUILDING NOTES AND BUILDING CODE INFORMATION.

REFER TO A2.00 FOR ALL CONSTRUCTION ASSEMBLIES.

REFER TO O2.01 & O2.02 FOR ALL FSR (FLOOR SPACE RATIO) CALCULATIONS

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ALL EXTERIOR DIMENSIONS TO OUTSIDE OF THE SHEATHING, UNLESS NOTED OTHERWISE.

ALL INTERIOR DIMENSION TO OUTSIDE FACE OF THE SHEATHING UNLESS OTHERWISE NOTED.

ALL EXTERIOR WALLS TO BE W-01 UNLESS NOTED OTHERWISE.

ALL INTERIOR PARTITIONS TO BE P-03 UNLESS NOTED OTHERWISE.

ALL INTERIOR PLUMBING WALLS TO BE P-02.

STAIR NOTES:

STAIR TREADS AND RISERS TO COMPLY WITH BCBC 2012, DIVISION B - PART 9 TABLE 9.8.4.2

MAIN FLOOR SLAB TO TOP OF UPPER LEVEL
SUB-FLOOR: 9'-0" = 14 RISERS
STAIR WIDTH: 3'-0"
RISE: 7.71"
RUN: 10"
TREAD: 11"

DO NOT SCALE DRAWINGS.
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Dickson Project

SITE ADDRESS:

325 KEITH ROAD
WEST VANCOUVER, BC

Existing Coach House Main Floorplan

SCALE
1/4" = 1'-0"

DRAWN BY
BS

CHECKED BY

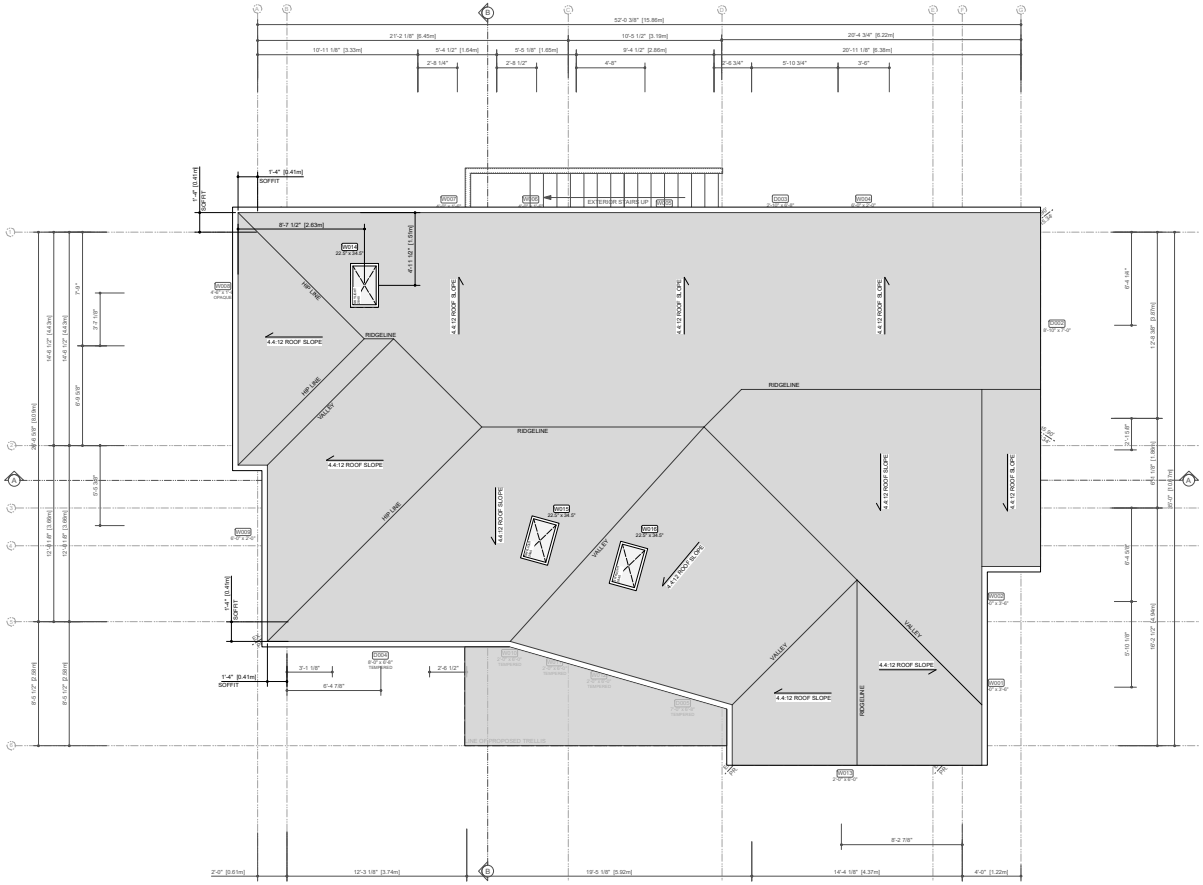
ISSUED FOR
Rezoning

DATE

ISSUE	DATE	DESCRIPTION

SHEET NUMBER

A7



ROOF PLAN NOTES:

REFER TO A1.02 FOR ALL GENERAL BUIDLING NOTES AND BUILDING CODE INFORMATION.

REFER TO A2.00 FOR ALL CONSTRUCTION ASSEMBLIES.

REFER TO O2.01 & O2.02 FOR ALL FSR AREA CALCULATIONS

ALL LISTED WINDOW AND DOOR SIZES FOR DESIGN COORDINATION AND ESTIMATING ONLY. REFER TO SPECIFICATIONS FOR UNIT SIZES, OPERATION AND ROUGH OPENINGS.

ALL EXTERIOR DIMENSIONS TO OUTSIDE OF STUD, UNLESS NOTED OTHERWISE.

ALL INTERIOR DIMENSION TO OUTSIDE FACE OF STUD UNLESS OTHERWISE NOTED.

ALL EXTERIOR WALLS TO BE W-01 UNLESS NOTED OTHERWISE.

ALL INTERIOR PARTITIONS TO BE P-03 UNLESS NOTED OTHERWISE.

DO NOT SCALE DRAWINGS.
REPORT ALL DISCREPANCIES TO SITE SUPERVISOR OR GENERAL CONTRACTOR.

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Dickson Project

SITE ADDRESS:

325 KEITH ROAD
WEST VANCOUVER, BC

Existing Coach House Roof Plan

SCALE
1/4" = 1'-0"

DRAWN BY
BS

CHECKED BY

ISSUED FOR
Rezoning

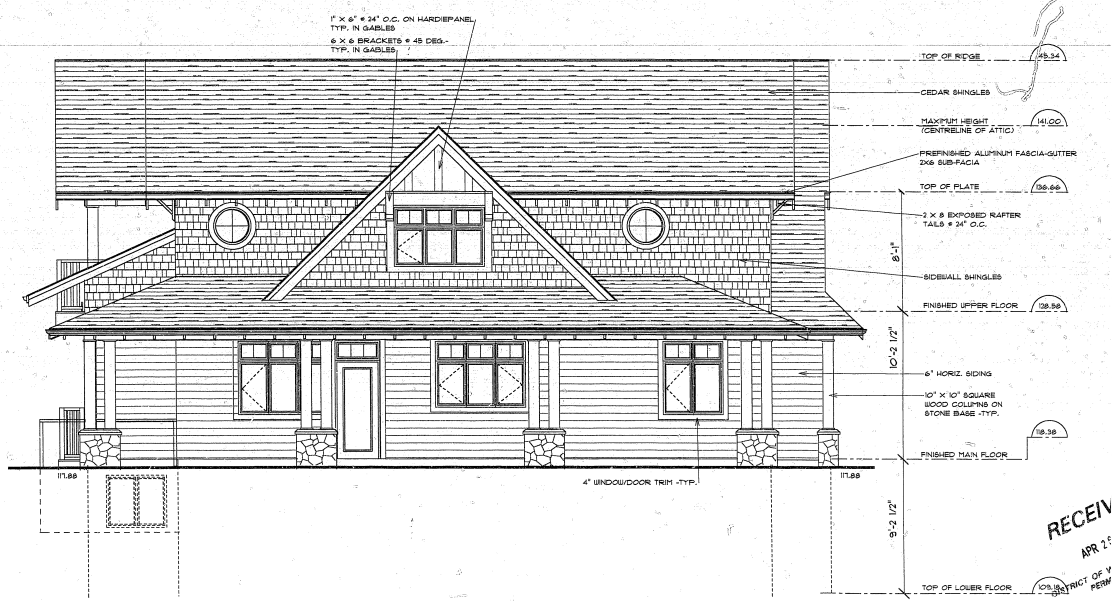
DATE

ISSUE	DATE	DESCRIPTION

SHEET NUMBER

A8

RIGHT ELEVATION - North Elevation



LEFT ELEVATION - South Elevation

DO NOT SCALE DRAWINGS.
REPORT ALL DISCREPANCIES TO SITE SUPERVISOR OR GENERAL CONTRACTOR.

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Dickson Project

SITE ADDRESS:

325 KEITH ROAD
WEST VANCOUVER, BC

Existing House Elevations

SCALE
1/4" = 1'-0"

DRAWN BY
BS

CHECKED BY

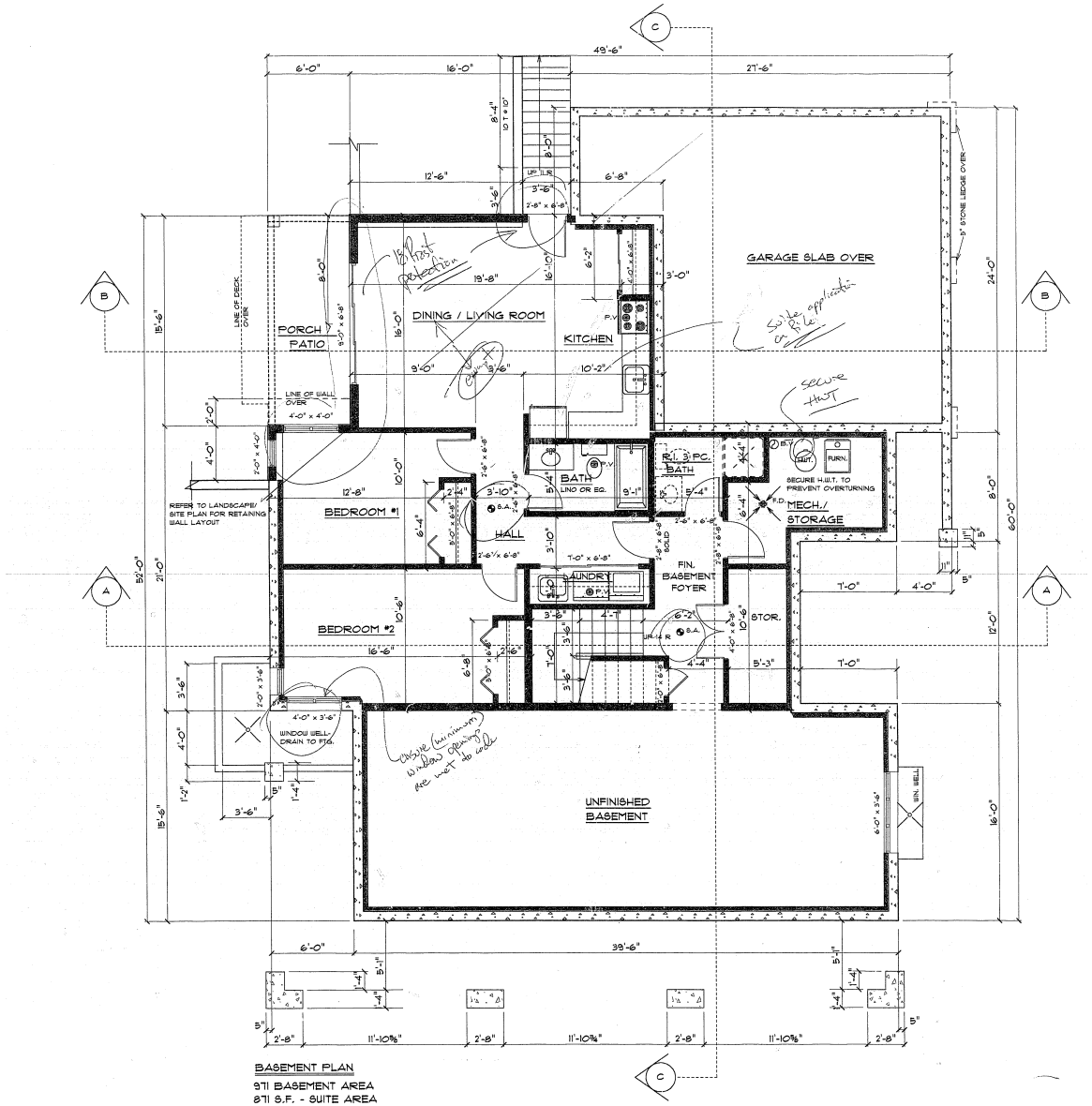
ISSUED FOR
Rezoning

DATE

ISSUE	DATE	DESCRIPTION

SHEET NUMBER

A9



BASEMENT PLAN
971 BASEMENT AREA
871 S.F. - SUITE AREA

DO NOT SCALE DRAWINGS.
REPORT ALL DISCREPANCIES TO SITE SUPERVISOR OR GENERAL CONTRACTOR.

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Dickson Project

SITE ADDRESS:

325 KEITH ROAD
WEST VANCOUVER, BC

Existing House Basement Floorplan

SCALE
1/4" = 1'-0"

DRAWN BY
BS

CHECKED BY

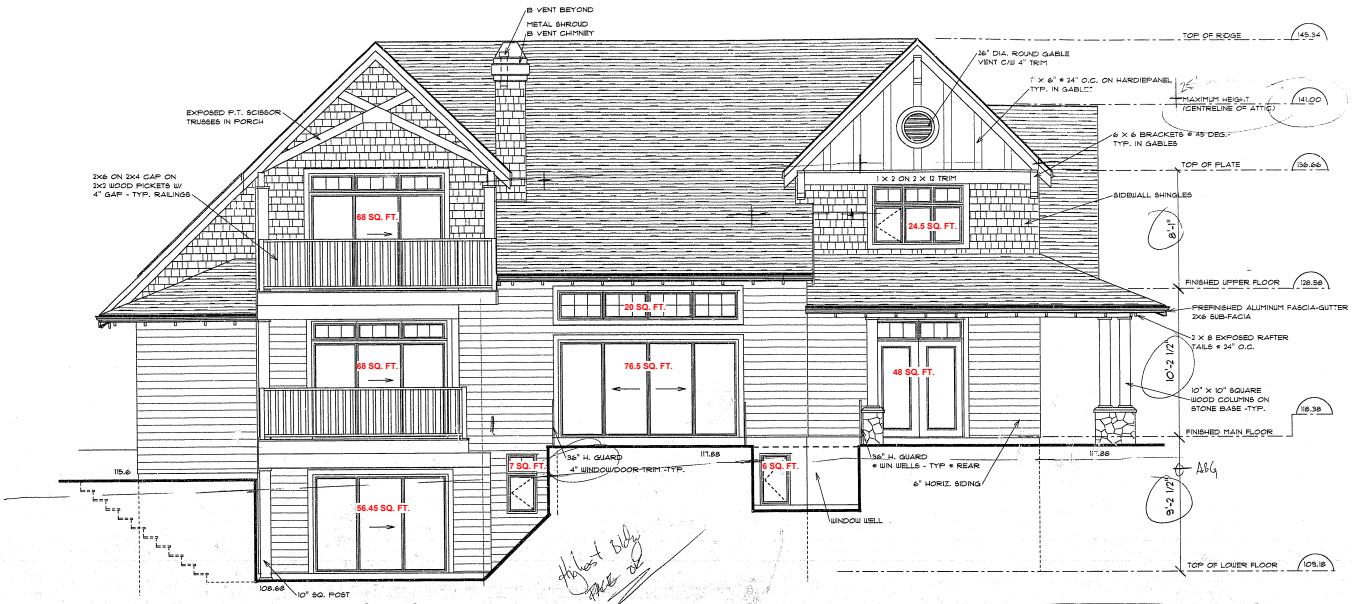
ISSUED FOR
Rezoning

DATE

ISSUE	DATE	DESCRIPTION

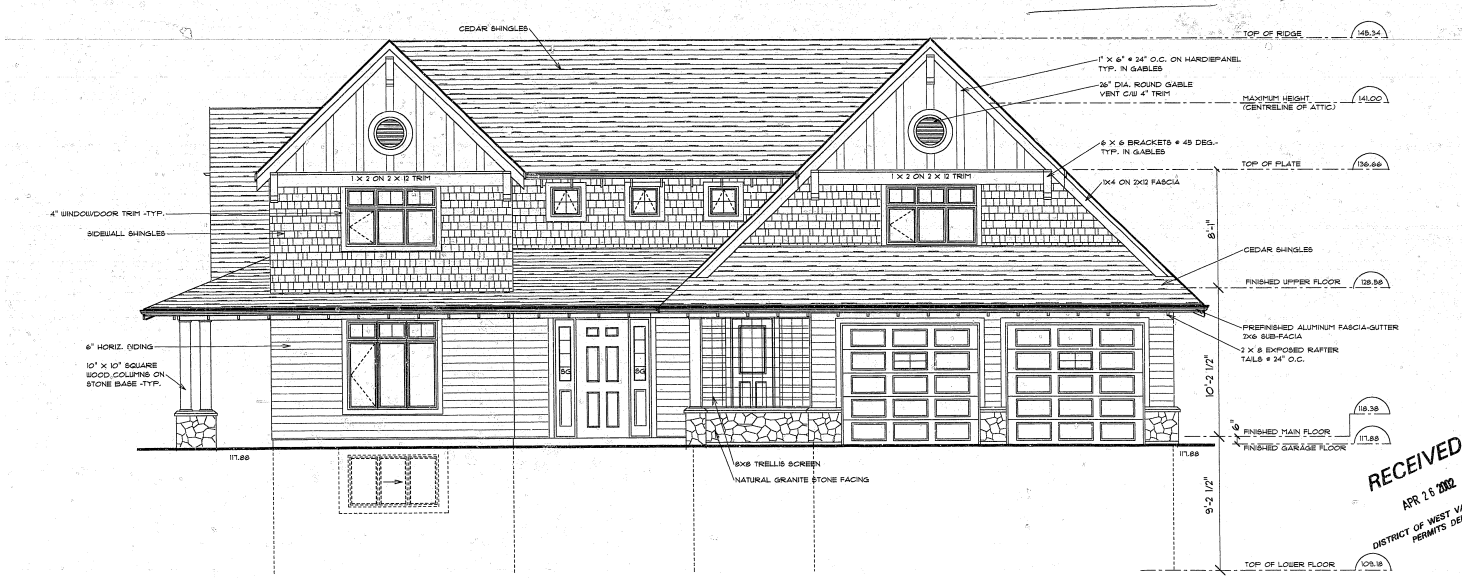
SHEET NUMBER

A10



REAR ELEVATION - West Elevation

ABG=116.02' Height @ maximum



FRONT ELEVATION - East Elevation

RECEIVED
APR 26 2012
DISTRICT OF WEST VA
PERMITS DE

REVISED

DO NOT SCALE DRAWINGS.
REPORT ALL DISCREPANCIES TO SITE SUPERVISOR OR GENERAL CONTRACTOR.

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Dickson Project

SITE ADDRESS:

325 KEITH ROAD
WEST VANCOUVER, BC

Existing House Elevations

SCALE
1/4" = 1'-0"

DRAWN BY
BS

CHECKED BY

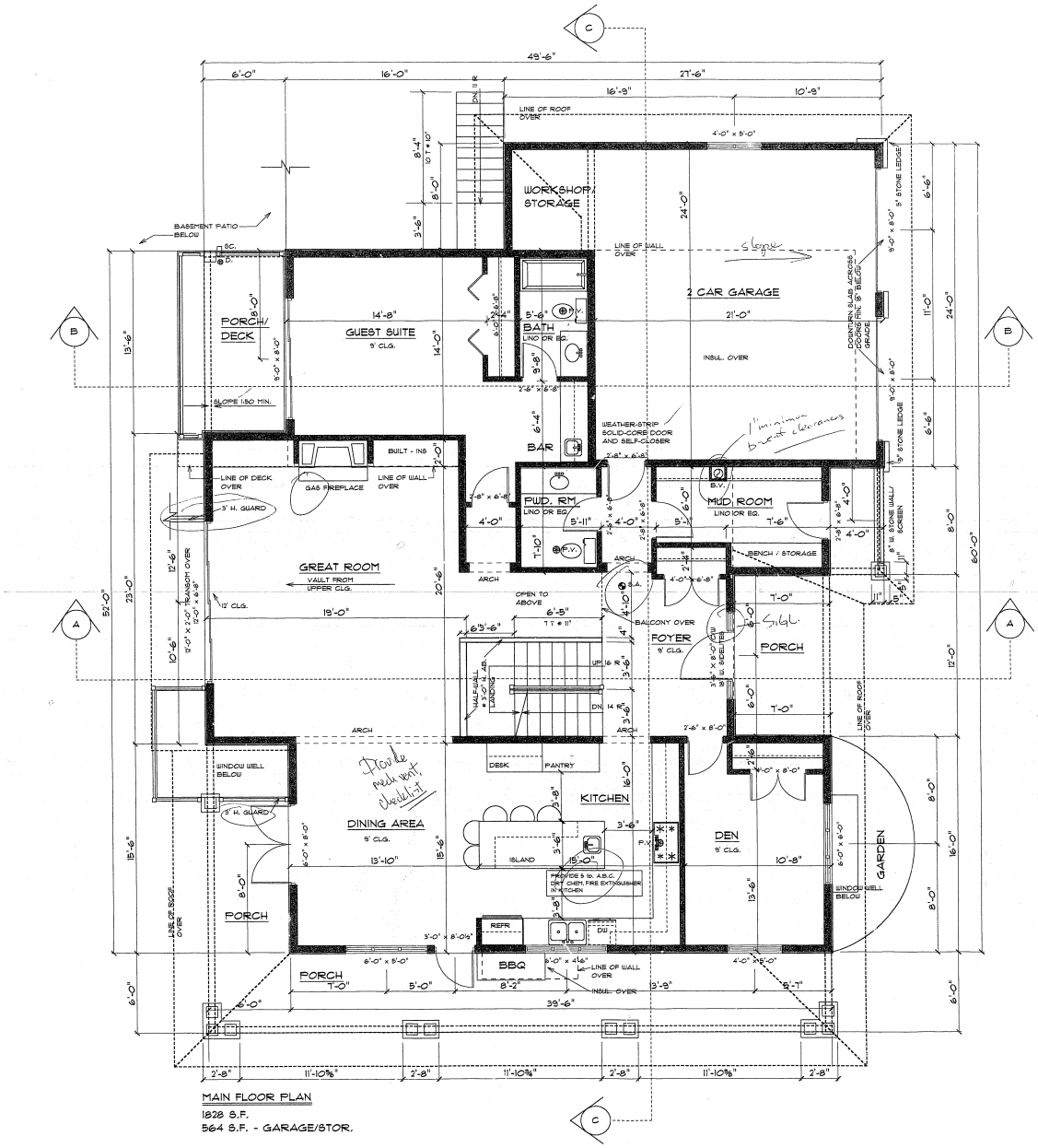
ISSUED FOR
Rezoning

DATE

ISSUE	DATE	DESCRIPTION

SHEET NUMBER

A11



MAIN FLOOR PLAN

1828 S.F.

564 S.F. - GARAGE/STOR.

DO NOT SCALE DRAWINGS.
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Dickson Project

SITE ADDRESS:

325 KEITH ROAD
WEST VANCOUVER, BC

Existing House Main Floorplan

SCALE
1/4" = 1'-0"

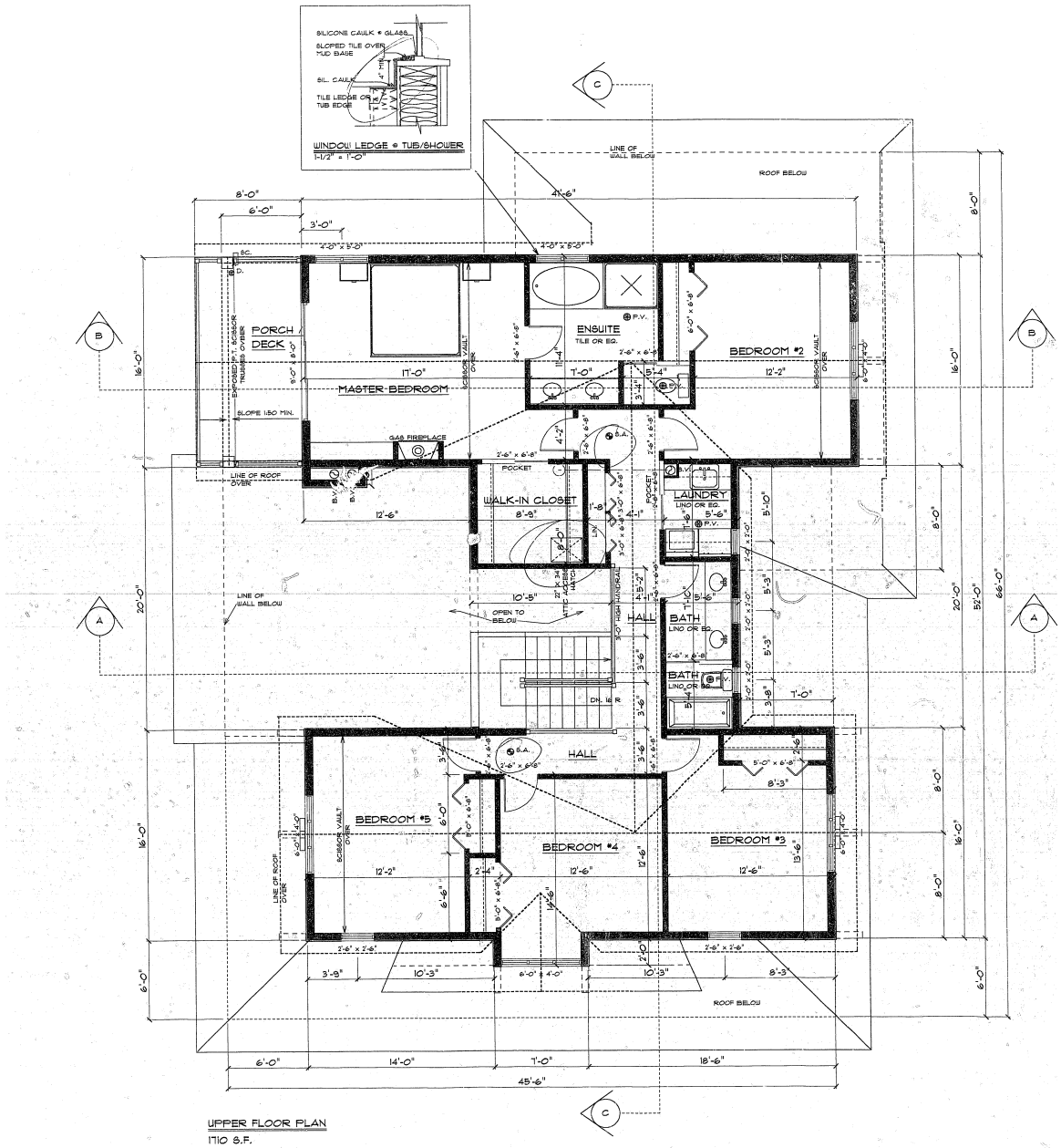
DRAWN BY	CHECKED BY
BS	

ISSUED FOR	DATE
Rezoning	

ISSUE	DATE	DESCRIPTION

SHEET NUMBER

A12



UPPER FLOOR PLAN
1710 S.F.

DO NOT SCALE DRAWINGS.
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Dickson Project

SITE ADDRESS:

325 KEITH ROAD
WEST VANCOUVER, BC

Existing House Upper Floorplan

SCALE
1/4" = 1'-0"

DRAWN BY
BS

CHECKED BY

ISSUED FOR
Rezoning

DATE

ISSUE	DATE	DESCRIPTION

SHEET NUMBER

A13

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Appendix D

District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023 (325 Keith Road)

Effective Date:

4085268v1

District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023

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4085268v1

District of West Vancouver

Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023

A bylaw to amendment subdivision standards within the RS3 zone to facilitate an infill subdivision at 325 Keith Road

Previous amendments: Amendment bylaws 4672, 4677, 4678, 4679, 4689, 4701, 4680, 4710, 4697, 4716, 4712, 4737, 4726, 4736, 4757, 4752, 4767, 4787, 4788, 4784, 4772, 4791, 4805, 4809, 4828, 4854, 4873, 4866, 4895, 4839, 4898, 4927, 4944, 4905, 4974, 4967, 4982, 4962, 4928, 4992, 5001, 5021, 5024, 5028, 5009, 4938, 5044, 5055, 5051, 5068, 5065, 5087, 5069, 5110, 5106, 5132, 5161, 5160, 5013, 5122, 5155, 5169, 5192, 5175, 5171, and 5201.

WHEREAS the Council of The Corporation of the District of West Vancouver deems it expedient to provide for an infill subdivision at 325 Keith Road;

NOW THEREFORE, the Council of The Corporation of the District of West Vancouver enacts as follows:

Part 1 Citation

1.1 This bylaw may be cited as Zoning Bylaw No. 4662, 2010, Amendment Bylaw No. 5081, 2023.

Part 2 Severability

2.1 If a portion of this bylaw is held invalid by a Court of competent jurisdiction, then the invalid portion must be severed and the remainder of this bylaw is deemed to have been adopted without the severed section, subsection, paragraph, subparagraph, clause or phrase.

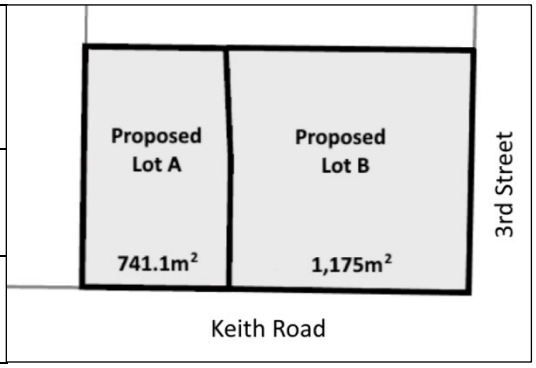
Part 3 Zoning Bylaw Amendments

3.1 Zoning Bylaw No. 4662, 2010, Schedule A, Section 203 (RS3 Single Family Dwelling Zone 3) is hereby amended by adding the following new section immediately after existing Section 203.12:

"203.13 Alternative zoning standards

(1) Notwithstanding sections 203.03, 203.04, and 203.05 for the Land legally known as LOT 1 SOUTH EAST 1/4 OF DISTRICT LOT 1043 PLAN 8777 at 325 Keith Road as shown in the map below, for the purposes of an infill subdivision, the following shall apply:

Lots created by subdivision of 325 Keith Road	**Minimum site area (square metres)**	**Maximum floor area ratio**
Lot A fronting Keith Road	741.1m^2	0.184
Lot B fronting 3rd Street	1,175m^2	0.35



"

READ A FIRST TIME on

PUBLICATION OF NOTICE OF PUBLIC HEARING on

PUBLIC HEARING HELD on

READ A SECOND TIME on

READ A THIRD TIME on

APPROVED by the Ministry of Transportation and Infrastructure, in accordance with section 52 (3) (a) of the *Transportation Act* on

ADOPTED by the Council on

_____
Mayor

_____
Corporate Officer

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Preliminary Public Information Meeting Summary – 325 Keith Road

Record "Preliminary development information meeting" held Nov 27, 2019, Regarding Rezoning and Subdivision of 325 Keith Road.

Ten neighbours attended the meeting. A sign in sheet showing names and address was available.

In addition, the applicant team Bill Chapman, Barbara Dickson, and Richard Dickson were present. The ten neighbours represented eight properties including all the immediate properties. Erik Wilhelm, Senior Community Planner was unable to attend due to a scheduling conflict.

The meeting started at 5:30pm and ended at 7:30pm, most attendees left at approximately 8pm.

Comments:

A review of the process prior to the meeting and after was presented as well as a review of the letter circulated to the neighbours dated November 13 2019, which included the process and feedback regarding previous concerns or questions. Including:

That it was a rezoning / subdivision proposal and not a stratification proposal.

That rezoning is based on a case-by-case basis and does not apply to the whole area. Attendees were pleased to know that anyone wanting to make a similar application would be required to meet all the municipal requirements.

That the proposal does not include the building of any additional structures, only the straightening of the current coach house driveway. All attendees agreed that they liked the way the coach house was added and appreciated the properties current appearance, which would not change.

That upon subdivision the main house suite would be eligible to be recommissioned however there were no immediate plans to do so as the main house is best rented as a whole rather than two tenants (and recommissioning requires the suite to be compliant with current standards resulting in significant costs).

General topics raised/ discussed:

Cost to the property owner to make application to municipality was discussed and answered.

A neighbour asked if the planned Brothers Creek Keith bridge replacement may affect the realignment of Keith Road at the front of the property. It was thought that Keith would likely not be able to be realigned as Brothers Creek washout had required Keith to be realigned south many years ago.

Attendees advised they had no objections and supported the proposal. Attendees were asked if they had heard any concerns or objections from any other neighbours and they indicated they had not.

They were particularity supportive as there would not be any significant changes to the existing property.

Submitted by
Richard S Dickson (Owner/Applicant)

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